



**CITY OF SOUTH ST. PAUL  
MEETING AGENDA**

**CITY COUNCIL**

Council Chambers  
125 3rd Avenue North  
South St. Paul, MN 55075

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Monday, November 4, 2024  
7:00 PM

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**1. CALL TO ORDER:**

**2. ROLL CALL:**

**3. INVOCATION:**

**4. PLEDGE OF ALLEGIANCE**

**5. PRESENTATIONS:**

**6. CITIZEN'S COMMENTS:**

Comments are limited to 3 minutes in length.

**7. AGENDA:**

A. Approval of Agenda

**8. CONSENT AGENDA:**

All items listed on the Consent Agenda are items, which are considered routine by the City Council and will be approved by one motion. There will be no separate discussion of these items unless a Council member or citizens requests, in which case the item will be removed from the consent agenda and considered at the end of the Consent Agenda.

A. City Council Meeting Minutes of October 21, 2024

B. Accounts Payable

C. Declare Costs to be Assessed for the Concord Exchange Improvement Project No. 2024-01

D. Approve Master Control Agreement

E. Turf Maintenance Services

F. Award Streetscape Services to CurbSide Landscape & Irrigation

- G. Declare Costs to be Assessed for the 7th Avenue South Reconstruction and I-494 Watermain Improvements Project No. 2023-12
- H. Retain Kraus-Anderson Construction Company as Construction Management Advisor
- I. Resolution 2024-131, Acknowledgment of Lawful Gambling Exempt Permit for Holy Trinity Catholic Church

**9. PUBLIC HEARINGS:**

- A. Certifying Unpaid Charges to the County Auditor
- B. Assessment Hearing – Concord Exchange Improvement Project No. 2024-01
- C. Assessment Hearing – 7th Avenue South Reconstruction and I-494 Watermain Improvements Project No. 2023-12

**10. GENERAL BUSINESS:**

- A. Preliminary Development Agreement - ZAS LLC (Hardman Triangle - Phase 1)

**11. MAYOR AND COUNCIL COMMUNICATIONS:**

**12. ADJOURNMENT:**



# CITY COUNCIL AGENDA REPORT

**DATE:** November 4, 2024  
**DEPARTMENT:** City Clerk  
**PREPARED BY:** Deanna Werner  
**AGENDA ITEM NUMBER:** 8.A.

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## **MEETING TYPE**

Regular Meeting

## **AGENDA ITEM**

### **ACTION TO BE CONSIDERED OR DESIRED OUTCOME**

Approval of Minutes for October 21, 2024.

### **OVERVIEW**

Approval of minutes from the October 21, 2024 City Council Regular Meeting.

### **SOURCE OF FUNDS**

N/A

### **ATTACHMENTS**

1. 8-A, 10-21-2024, Council Minutes

1. Mayor Jimmy Francis called the regular meeting of the City Council to order at 7:00 PM on October 7, 2024.

2. **ROLL CALL:**

Present: Council Members, Bakken, Hansen, Kaliszewski, Podgorski, Seaberg, Thompson, Mayor Francis

Absent: None

Staff Present: City Administrator, Ryan Garcia  
City Attorney, Amanda Johnson  
City Clerk, Deanna Werner  
City Engineer, Nick Guilliams

3. **Invocation**

4. **Pledge of Allegiance**

5. **Presentations:**

- A. New History and Library Reuse Study
- B. Mizpah Lodge #191 Fill the Backpack Check Presentation
- C. Knock Out Hunger

6. **Citizen Comments:**

- Debbie LaChapelle
- William Kump

7. **Agenda**

Moved by: Tom Seaberg/Matt Thompson

Moved: To approve the agenda.

Vote: 7 ayes / 0 nays, motion carried

8. **Consent Agenda**

Resolved, the City Council of South St. Paul does hereby approve the following:

- A. City Council Meeting Minutes of October 7, 2024
- B. Accounts Payable
- C. Business Licenses
- D. Acceptance of Gift Donations
- ~~E. Accept Letter of Resignation - Todd Waters~~
- F. Declare Certain City Property Surplus and Authorize Sale
- G. Accept Letter of Resignation - Nicole Arrigoni
- H. Fiber Optic Indefeasible Right to Use Agreement with Dakota County
- I. Conditional Employment Offer - Police Officer

Moved by: Joe Kaliszewski / Lori Hansen  
Moved: Approval of Consent Agenda, with the removal of 8E  
Vote: 7 ayes / 0 nays, motion carried.

Removed from Consent Agenda for further discussion:

8E. Accept Letter of Resignation - Todd Waters  
Moved by: Todd Podgorski / Pam Bakken  
Moved: Accept letter of resignation – Todd Waters.  
Vote: 7 ayes / 0 nays, motion carried.

**9. Public Hearings:** None

**10. General Business**

- A. Twin City Hide Interim Use Permit  
Moved by: Pam Bakken / Lori Hansen  
Moved: Approval of Resolution 2024-122, and Interim Use Permit for Twin City Hide  
Vote: 7 ayes / 0 nays, motion carried.
  
- B. Marie Avenue Reconstruction Project – Receive Feasibility Report and call for a Public Hearing  
Moved by: Pam Bakken / Matt Thompson  
Moved: Approval of Resolution 2024-121, receiving a feasibility report and calling for a Public Hearing on November 18, 2024.  
Vote: 7 ayes / 0 nays, motion carried.

**11. Council Communication**

**12. Adjournment**

Moved by: Tom Seaberg/Joe Kaliszewski  
Moved: Adjourn the meeting.  
Vote: 7 ayes / 0 nays, motion carried.

The meeting was adjourned at 8:50 PM.

Approved: October 21, 2024

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City Clerk



# CITY COUNCIL AGENDA REPORT

**DATE:** November 4, 2024  
**DEPARTMENT:** Finance  
**PREPARED BY:** Jeff Hines  
**AGENDA ITEM NUMBER:** 8.B.

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## **MEETING TYPE**

Regular Meeting

## **AGENDA ITEM**

### **ACTION TO BE CONSIDERED OR DESIRED OUTCOME**

Motion to Adopt Resolution 2024-130 approving accounts payable.

### **OVERVIEW**

The City Council approves all payments of claims. Approval of audited claims is required before issuance of payment.

### **SOURCE OF FUNDS**

N/A

### **ATTACHMENTS**

1. 11-04-24 Accounts Payable Detail

City of South St. Paul  
Dakota County, Minnesota

**RESOLUTION NO. 2024-130**

**RESOLUTION APPROVING ACCOUNTS PAYABLE**

**WHEREAS**, the City Council is required to approve payment of claims;

**NOW, THEREFORE, BE IT RESOLVED** that the audited claims listed in the check register attachment are hereby approved for payment:

<b>Check and wires:</b>	
<b>152100-152225</b>	<b>\$ 2,980,206.91</b>
<b>2024316-2024322</b>	<b>11,023.53</b>
<b>801108-801115</b>	<b><u>77,680.41</u></b>
<b>Total</b>	<b>\$ 3,068,910.85</b>

Adopted this 4<sup>th</sup> day of November, 2024.

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Deanna Werner, City Clerk

CITY OF SOUTH ST PAUL  
 Council Check Register by GL  
 Council Check Register and Summary

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Check #	Date	Amount	Supplier / Explanation	PO #	Doc No	Inv No	Account No	Subledger	Account Description	Business Unit
<b>152100</b>	<b>10/28/2024</b>		<b>4156 ABM EQUIPMENT &amp; SUPPLY</b>							
		151.32	HYDRAULIC FILLER CAP ASSY		117435	0180157-IN	60703.6220		REPAIR & MAINTENANCE SUPPLIES	CENTRAL GARAGE FUND
		<u>151.32</u>								
<b>152101</b>	<b>10/28/2024</b>		<b>13302 ADS ON BOARDS</b>							
		1,200.00	BOARD CLN & DLR 1&2		117432	1276	20243.6220		REPAIR & MAINTENANCE SUPPLIES	DOUG WOOG ARENA
		<u>1,200.00</u>								
<b>152102</b>	<b>10/28/2024</b>		<b>5257 AL SERVICES LLC</b>							
		3,835.00	RPL WIRE/BRKR@GRAND PMPHS		117433	0628-403	50610.6371		REPAIRS & MAINT CONTRACTUAL	STORM WATER UTILITY
		3,110.00	BLD&INSTL(5)POLES VILL&HARDM		117434	0628-401	50615.6371		REPAIRS & MAINT CONTRACTUAL	STREET LIGHT UTILITY
		<u>6,945.00</u>								
<b>152103</b>	<b>10/28/2024</b>		<b>2767 ALLSTATE PETERBILT OF SOUTH ST. PAUL</b>							
		225.38	FUEL/WATER SEPRTR #A-2		117436	3004686522	60703.6220		REPAIR & MAINTENANCE SUPPLIES	CENTRAL GARAGE FUND
		135.94	FUEL & SEP ELEMENTS		117437	3004686529	60703.6220		REPAIR & MAINTENANCE SUPPLIES	CENTRAL GARAGE FUND
		<u>361.32</u>								
<b>152104</b>	<b>10/28/2024</b>		<b>9021 ATLAS STAFFING, INC.</b>							
		772.80	NM TEMP-MOUA 10/11/24		117483	1307567	50677.6302		PROFESSIONAL SERVICES	NAN MCKAY APT BLDG
		772.80	JC TEMP-MOUA 10/11/24		117483	1307567	50678.6302		PROFESSIONAL SERVICES	JOHN CARROLL APT BLDG
		<u>1,545.60</u>								
<b>152105</b>	<b>10/28/2024</b>		<b>6676 BDS LAUNDRY MANAGEMENT CO</b>							
		751.70	NM LAUNDRY RENTAL AUG24		117438	LMV431949	50677.6381		OTHER RENTALS	NAN MCKAY APT BLDG
		983.00	JC LAUNDRY RENTAL AUG24		117439	LMV431944	50678.6381		OTHER RENTALS	JOHN CARROLL APT BLDG
		<u>1,734.70</u>								
<b>152106</b>	<b>10/28/2024</b>		<b>14696 BROOKS, THOMAS</b>							
		169.03	FINALLED-352 PARK LANE		117504	MOVE OUT	50605.2010		REFUNDS	WATER UTILITY
		<u>169.03</u>								
<b>152107</b>	<b>10/28/2024</b>		<b>1184 CINTAS CORPORATION #754</b>							
		73.46	SAFETY RUGS		117440	4207754507	10210.6220		REPAIR & MAINTENANCE SUPPLIES	POLICE PROTECTION
		24.21	SAFETY MATS-LOBBY, FD		117440	4207754507	10330.6220		REPAIR & MAINTENANCE SUPPLIES	BUILDINGS
		<u>97.67</u>								
<b>152108</b>	<b>10/28/2024</b>		<b>3574 CITY OF MENDOTA HEIGHTS</b>							
		103.30	CASCADE BAY TRIP		117487	00243203	10529.6452		TRIPS AND TOURS	RECREATIONAL PROGRAMS
		<u>103.30</u>								

CITY OF SOUTH ST PAUL  
 Council Check Register by GL  
 Council Check Register and Summary

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Check #	Date	Amount	Supplier / Explanation	PO #	Doc No	Inv No	Account No	Subledger	Account Description	Business Unit
<b>152109</b>	<b>10/28/2024</b>		<b>1192 CITY OF ST. PAUL</b>						<b>Continued...</b>	
		958.60	ASPHALT FOR STREETS		117486	IN60179	10320.6220		REPAIR & MAINTENANCE SUPPLIES	PUBLIC WORKS
		<u>958.60</u>								
<b>152110</b>	<b>10/28/2024</b>		<b>2884 COMCAST</b>							
		109.85	WATER COMPUTER		117441	877210595017166 6 10/2/24	50605.6390		POSTAGE AND TELEPHONE	WATER UTILITY
		<u>109.85</u>								
<b>152111</b>	<b>10/28/2024</b>		<b>2009 CORE &amp; MAIN, LP</b>							
		969.07	BALL CURBS		117442	V788115	50605.6220		REPAIR & MAINTENANCE SUPPLIES	WATER UTILITY
		1,821.50	COUPLINGS		117443	V754625	50605.6220		REPAIR & MAINTENANCE SUPPLIES	WATER UTILITY
		<u>2,790.57</u>								
<b>152112</b>	<b>10/28/2024</b>		<b>11317 CUSTOM CAP &amp; TIRE</b>							
		1,076.58	TIRES #326		117444	270070974	60703.6220		REPAIR & MAINTENANCE SUPPLIES	CENTRAL GARAGE FUND
		<u>1,076.58</u>								
<b>152113</b>	<b>10/28/2024</b>		<b>1247 DAKOTA COUNTY FINANCIAL SERVICES</b>							
		40,786.00	2023 PILOT		117445	2023 PILOT	50677.6469		PYMT IN LIEU OF TAX	NAN MCKAY APT BLDG
		48,128.00	2023 PILOT		117445	2023 PILOT	50678.6469		PYMT IN LIEU OF TAX	JOHN CARROLL APT BLDG
		<u>88,914.00</u>								
<b>152114</b>	<b>10/28/2024</b>		<b>6407 DARTS</b>							
		1,000.00	TRANSPORT SEP24		117488	10636-194	50678.6302	229901	PROFESSIONAL SERVICES	JOHN CARROLL APT BLDG
		1,763.00	HELP MOVE/CLEAN SEP24		117489	10310-454	50678.6302	229901	PROFESSIONAL SERVICES	JOHN CARROLL APT BLDG
		<u>2,763.00</u>								
<b>152115</b>	<b>10/28/2024</b>		<b>6755 DAVEY TREE EXPERT COMPANY</b>							
		350.00	DUMPING BRUSH/DEBRIS		117446	918975216	10320.6221		SEAL COATING & TREE MAIN	PUBLIC WORKS
		<u>350.00</u>								
<b>152116</b>	<b>10/28/2024</b>		<b>14488 ESA MANAGEMENT L.L.C.</b>							
		1,710.59	PLUMB PRJ RELOC 10/13-10/20		117490	1554959198	50678.6302	229901	PROFESSIONAL SERVICES	JOHN CARROLL APT BLDG
		498.96	PLUMB PRJ RELOC 10/13-10/20		117491	1554959197	50678.6302	229901	PROFESSIONAL SERVICES	JOHN CARROLL APT BLDG
		13,288.76	PLUMB PRJ RELOC 10/13-10/20		117492	1554959196.3	50678.6302	229901	PROFESSIONAL SERVICES	JOHN CARROLL APT BLDG
		<u>15,498.31</u>								
<b>152117</b>	<b>10/28/2024</b>		<b>14695 GREENE ESPEL</b>							
		503.80	GEN CONSULT-ODOR CITATION		117450	91329	10130.6302		PROFESSIONAL SERVICES	CITY ATTORNEY
		<u>503.80</u>								

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<b>152117</b>	<b>10/28/2024</b>		<b>14695 GREENE ESPEL</b>						<b>Continued...</b>	
<b>152118</b>	<b>10/28/2024</b>		<b>14697 GREENE, BARBARA</b>							
		344.56	FINALLED-625 2ND A S		117505	MOVE OUT	50605.2010		REFUNDS	WATER UTILITY
		<u>344.56</u>								
<b>152119</b>	<b>10/28/2024</b>		<b>5877 HANSON, JERRY</b>							
		102.80	FINALLED-820 23RD A N		117508	MOVE OUT	50605.2010		REFUNDS	WATER UTILITY
		<u>102.80</u>								
<b>152120</b>	<b>10/28/2024</b>		<b>9689 HOISINGTON KOEGLER GROUP, INC.</b>							
		4,833.75	ARMOUR GATES RENDERINGS		117503	024-020-1	20284.6302		PROFESSIONAL SERVICES	DEVELOPMENT
		<u>4,833.75</u>								
<b>152121</b>	<b>10/28/2024</b>		<b>1667 INVER GROVE FORD</b>							
		27.16	OIL FILTERS #321		117447	5349412	60703.6220		REPAIR & MAINTENANCE SUPPLIES	CENTRAL GARAGE FUND
		107.58	ELEMENT ASY/FILTER #321		117448	5349408	60703.6220		REPAIR & MAINTENANCE SUPPLIES	CENTRAL GARAGE FUND
		1,897.53	BRAKE ROTORS/LINING #2151		117449	5349363	60703.6220		REPAIR & MAINTENANCE SUPPLIES	CENTRAL GARAGE FUND
		7.48	NUTS #2169		117451	5349533	60703.6220		REPAIR & MAINTENANCE SUPPLIES	CENTRAL GARAGE FUND
		886.49	ELEC RPR-AIR BAG LGT#2154		117452	6427016	60703.6371		REPAIRS & MAINT CONTRACTUAL	CENTRAL GARAGE FUND
		1,207.34	RPR SHIFTER/WHL ALLIGN#A-2		117453	6426518	60703.6371		REPAIRS & MAINT CONTRACTUAL	CENTRAL GARAGE FUND
		<u>4,133.58</u>								
<b>152122</b>	<b>10/28/2024</b>		<b>6642 JOHNSON CONTROLS, INC</b>							
		2,498.80	NM SVC AGREEMNT 11/1-1/31/25		117493	1-134480247776	50677.6560		BUILDING FIXTURES AND IMPRS	NAN MCKAY APT BLDG
		3,748.20	JC SVC AGREEMNT 11/1-1/31/25		117493	1-134480247776	50678.6560		BUILDING FIXTURES AND IMPRS	JOHN CARROLL APT BLDG
		<u>6,247.00</u>								
<b>152123</b>	<b>10/28/2024</b>		<b>1813 LEAGUE OF MN CITIES INSURANCE TRUST</b>							
		850.79	COLIN CONWAY		117494	23391	10210.6151		WORKERS COMP DEDUCTIBLE	POLICE PROTECTION
		483.18	MICHAEL WEATHER		117495	23368	60703.6151		WORKERS COMP DEDUCTIBLE	CENTRAL GARAGE FUND
		582.35	JASON CHRISTIANSEN		117496	23337	10210.6151		WORKERS COMP DEDUCTIBLE	POLICE PROTECTION
		1,164.66	TREVOR WIESE		117497	23310	10210.6151		WORKERS COMP DEDUCTIBLE	POLICE PROTECTION
		227.43	NELLY GUERRA-RIVERA		117498	23351	10210.6151		WORKERS COMP DEDUCTIBLE	POLICE PROTECTION
		<u>3,308.41</u>								
<b>152124</b>	<b>10/28/2024</b>		<b>6281 LIGHTNING DISPOSAL, INC.</b>							
		11,572.37	CLEAN UP DAY		117517	0000677091	10170.6391		CLEAN UP DAY	RECYCLING PROGRAM
		95.00	DUMPSTER@GARDENS/CLOSE-UP		117518	0000677244	10320.6379		CONT SERV/REFUSE & SANITATION	PUBLIC WORKS
		<u>11,667.37</u>								

CITY OF SOUTH ST PAUL  
 Council Check Register by GL  
 Council Check Register and Summary

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Check #	Date	Amount	Supplier / Explanation	PO #	Doc No	Inv No	Account No	Subledger	Account Description	Business Unit
<b>152125</b>	<b>10/28/2024</b>		<b>6681 MANN'S SOFTENER SALT DELIVERY</b>						<b>Continued...</b>	
		276.10	NM SOLAR SALT (27)		117519	INV346	50677.6220		REPAIR & MAINTENANCE SUPPLIES	NAN MCKAY APT BLDG
		331.90	JC SOLAR SALT (33)		117520	INV347	50678.6220		REPAIR & MAINTENANCE SUPPLIES	JOHN CARROLL APT BLDG
		<u>608.00</u>								
<b>152126</b>	<b>10/28/2024</b>		<b>1878 MARK'S AERIAL SERVICE</b>							
		1,500.00	(2)TREE RMV-1341 EVANS		117454	005287	10320.6221		SEAL COATING & TREE MAIN	PUBLIC WORKS
		750.00	TREE/DEBRIS-1729 LN		117455	005286	10320.6221		SEAL COATING & TREE MAIN	PUBLIC WORKS
		900.00	TREE/DEBRIS-551 8TH A S		117456	005285	10320.6221		SEAL COATING & TREE MAIN	PUBLIC WORKS
		500.00	TREE/DEBRIS-224 DALE S E		117457	005284	10320.6221		SEAL COATING & TREE MAIN	PUBLIC WORKS
		1,050.00	TREE/DEBRIS-840 7TH A S		117458	005283	10320.6221		SEAL COATING & TREE MAIN	PUBLIC WORKS
		<u>4,700.00</u>								
<b>152127</b>	<b>10/28/2024</b>		<b>13330 MEDICA</b>							
		126,766.44	HEALTH PREMIUM NOV 2024		117460	563206442975	10101.2176		HOSPITALIZATION/MED INSURANCE	GENERAL FUND
		1,696.09	RETRO ADJ OCT24		117460	563206442975	10101.2176		HOSPITALIZATION/MED INSURANCE	GENERAL FUND
		340.00	MHR INVEST FEE		117460	563206442975	10125.6375		OTHER CONTRACTED SERVICES	HUMAN RESOURCES
		<u>128,802.53</u>								
<b>152128</b>	<b>10/28/2024</b>		<b>1913 MERIT ELECTRIC COMPANY</b>							
		2,620.17	NETWORK CABLING INSTALL		117459	77938	10160.6302		PROFESSIONAL SERVICES	INFORMATION TECHNOLOGY
		<u>2,620.17</u>								
<b>152129</b>	<b>10/28/2024</b>		<b>10827 METRO ELEVATOR</b>							
		301.43	ELEVATOR PH SVC		117461	94288	20243.6371		REPAIRS & MAINT CONTRACTUAL	DOUG WOOG ARENA
		<u>301.43</u>								
<b>152130</b>	<b>10/28/2024</b>		<b>1923 METRO SALES INC.</b>							
		217.12	COLOR COPIES		117463	INV2619953	10160.6378		COPIER MAINTENANCE AGREEMENT	INFORMATION TECHNOLOGY
		<u>217.12</u>								
<b>152131</b>	<b>10/28/2024</b>		<b>1926 METROPOLITAN COUNCIL ENVIRONMENT SVCS</b>							
		306,219.53	NOV 2024 SEWER SERVICE		117462	0001178120	50606.6376		METRO WASTE CONTROL COMMISSION	SEWER UTILITY
		<u>306,219.53</u>								
<b>152132</b>	<b>10/28/2024</b>		<b>1444 MIDWEST MACHINERY CO</b>							
		423.90	LINK		117464	10166050	60703.6220		REPAIR & MAINTENANCE SUPPLIES	CENTRAL GARAGE FUND
		<u>423.90</u>								
<b>152133</b>	<b>10/28/2024</b>		<b>1986 MINNESOTA DEPARTMENT OF HEALTH</b>							
		23.00	MILLER-CLASS C OPER RENEW		117465	10/18/24	50605.6331		CONFERENCES, TRAINING, TRAVEL	WATER UTILITY

CITY OF SOUTH ST PAUL  
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Check #	Date	Amount	Supplier / Explanation	PO #	Doc No	Inv No	Account No	Subledger	Account Description	Business Unit
<b>152133</b>	<b>10/28/2024</b>		<b>1986 MINNESOTA DEPARTMENT OF HEALTH</b>						<b>Continued...</b>	
		23.00	ASPER-CLASS D OPER RENEW		117465	10/18/24	50606.6331		CONFERENCES, TRAINING, TRAVEL	SEWER UTILITY
		46.00								
<b>152134</b>	<b>10/28/2024</b>		<b>6332 MINNESOTA DEPARTMENT OF TRANSPORTATION</b>							
		380.75	MATERIAL TEST/INSPECT		117466	P00019133	40432.6302	202401	PROFESSIONAL SERVICES	2016 LOCAL IMPROVEMENTS
		380.75	MATERIAL TEST/INSPECT		117466	P00019133	40432.6302	202401	PROFESSIONAL SERVICES	2016 LOCAL IMPROVEMENTS
		380.75	MATERIAL TEST/INSPECT		117466	P00019133	40440.6302	202401	PROFESSIONAL SERVICES	2024 LOCAL IMPROVEMENTS
		380.75								
<b>152135</b>	<b>10/28/2024</b>		<b>2010 MINNESOTA POLLUTION CONTROL AGENCY</b>							
		1,200.00	TWIN CITY PALLET-139 GRAND		117468	10000194769	40490.6302		PROFESSIONAL SERVICES	CONCORD TIF
		1,650.00	240 CONCORD N		117469	10000194810	40490.6302		PROFESSIONAL SERVICES	CONCORD TIF
		2,850.00								
<b>152136</b>	<b>10/28/2024</b>		<b>2023 MINNESOTA UNEMPLOYMENT INSURANCE</b>							
		259.89	REC PRGMS-K.PABON JR		117467	QTR 3 2024 SSP	10529.6140		UNEMPLOYMENT COMP INS.	RECREATIONAL PROGRAMS
		259.89								
<b>152137</b>	<b>10/28/2024</b>		<b>9298 NAPA NEWPORT</b>							
		17.72	AIR FLTR/SPARK PLUG		117521	2514-127036	60703.6220		REPAIR & MAINTENANCE SUPPLIES	CENTRAL GARAGE FUND
		423.63	BREAK PADS/ROTOR #326		117522	2514-126783	60703.6220		REPAIR & MAINTENANCE SUPPLIES	CENTRAL GARAGE FUND
		313.44	AIR & OIL FILTERS		117523	2514-126545	60703.6220		REPAIR & MAINTENANCE SUPPLIES	CENTRAL GARAGE FUND
		39.08	OIL FILTERS		117524	106657	60703.6220		REPAIR & MAINTENANCE SUPPLIES	CENTRAL GARAGE FUND
		271.61	RETD CORES		117525	106489	60703.6220		REPAIR & MAINTENANCE SUPPLIES	CENTRAL GARAGE FUND
		26.80	RETD OIL FLTRS/BULBS		117526	102667	60703.6220		REPAIR & MAINTENANCE SUPPLIES	CENTRAL GARAGE FUND
		495.46								
<b>152138</b>	<b>10/28/2024</b>		<b>14383 NFI, INC.</b>							
		5.99	PROPANE CYLINDER		117527	550776/D	20245.6220		REPAIR & MAINTENANCE SUPPLIES	AIRPORT
		5.99								
<b>152139</b>	<b>10/28/2024</b>		<b>9671 NIEBUR TRACTOR &amp; EQUIPMENT, INC</b>							
		16.49	BALL JOINT #RTU1		117528	01-202580	60703.6220		REPAIR & MAINTENANCE SUPPLIES	CENTRAL GARAGE FUND
		16.49								
<b>152140</b>	<b>10/28/2024</b>		<b>5682 NITTI SANITATION</b>							
		263.97	TRASH SVC-CITY HALL		117529	666323	10330.6379		CONT SERV/REFUSE & SANITATION	BUILDINGS
		50.00	TRASH SVC-PW		117530	664947	10320.6379		CONT SERV/REFUSE & SANITATION	PUBLIC WORKS
		36.84	TRASH SVC-LIBRARY		117531	666324	10330.6379		CONT SERV/REFUSE & SANITATION	BUILDINGS
		87.04	TRASH SVC-AIRPORT		117532	666325	20245.6379		CONT SERV/REFUSE & SANITATION	AIRPORT

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<b>152140</b>	<b>10/28/2024</b>		<b>5682 NITTI SANITATION</b>						<b>Continued...</b>	
		232.33	TRASH SVC-KAPOSIA PK		117533	666326	10340.6379		CONT SERV/REFUSE & SANITATION	PARKS FACILITIES AND MTNCE
		215.11	TRASH SVC-LORRAINE PK		117534	666327	10340.6379		CONT SERV/REFUSE & SANITATION	PARKS FACILITIES AND MTNCE
		215.11	TRASH SVC-NORTHVIEW		117535	666328	10340.6379		CONT SERV/REFUSE & SANITATION	PARKS FACILITIES AND MTNCE
		215.11	TRASH SVC-MCMORROW		117542	666329	10340.6379		CONT SERV/REFUSE & SANITATION	PARKS FACILITIES AND MTNCE
		34.11	TRASH SVC-COMM GARDENS		117543	666330	10340.6379		CONT SERV/REFUSE & SANITATION	PARKS FACILITIES AND MTNCE
		215.11	TRASH SVC-KAPOSIA LANDG		117544	666331	10340.6379		CONT SERV/REFUSE & SANITATION	PARKS FACILITIES AND MTNCE
		<u>1,564.73</u>								
<b>152141</b>	<b>10/28/2024</b>		<b>10685 NYSTROM PUBLISHING CO.</b>							
		6,345.54	CITY NEWSLETTER Q4		117470	48253	10120.6344		NEWSLETTER/BROCHURE	CITY ADMINISTRATION
		1,913.34	POSTAGE-PERMIT #115		117470	48253	10120.6344		NEWSLETTER/BROCHURE	CITY ADMINISTRATION
		<u>8,258.88</u>								
<b>152142</b>	<b>10/28/2024</b>		<b>2149 OFFICE OF MNIT SERVICES</b>							
		349.07	STATE PH CONNECT		117471	W24090617	10160.6375		OTHER CONTRACTED SERVICES	INFORMATION TECHNOLOGY
		157.54	STATE PH AIRPORT		117471	W24090617	20245.6390		POSTAGE AND TELEPHONE	AIRPORT
		<u>506.61</u>								
<b>152143</b>	<b>10/28/2024</b>		<b>2166 O'REILLY AUTO PARTS</b>							
		9.83	EXH PIPE GSKT #2169		117545	1767-386202	60703.6220		REPAIR & MAINTENANCE SUPPLIES	CENTRAL GARAGE FUND
		212.00	MFLR CLMP/EXH PIPE/GSKT#2169		117546	1767-385595	60703.6220		REPAIR & MAINTENANCE SUPPLIES	CENTRAL GARAGE FUND
		<u>221.83</u>								
<b>152144</b>	<b>10/28/2024</b>		<b>2240 PLUNKETT'S PEST CONTROL, INC.</b>							
		30.09	PEST CONTROL-WELL#4		117550	8827562	50605.6371		REPAIRS & MAINT CONTRACTUAL	WATER UTILITY
		<u>30.09</u>								
<b>152145</b>	<b>10/28/2024</b>		<b>14698 RATH, JAMES</b>							
		44.39	NM#911 CLNG SUPPLY		117506	3789	50677.6451		REFUNDS & REIMBURSEMENT	NAN MCKAY APT BLDG
		57.44	NM#911 CLNG SUPPLY		117507	0022	50677.6451		REFUNDS & REIMBURSEMENT	NAN MCKAY APT BLDG
		<u>101.83</u>								
<b>152146</b>	<b>10/28/2024</b>		<b>2464 SHORT ELLIOTT HENDRICKSON INC</b>							
		279.00	ODOR SVC/COMPL/REPORT		117473	475235	10420.6302		PROFESSIONAL SERVICES	CODE ENFORCEMENT
		675.00	ODOR SVC/COMPL/ATTORNEY		117473	475235	10130.6375		OTHER CONTRACTED SERVICES	CITY ATTORNEY
		<u>954.00</u>								
<b>152147</b>	<b>10/28/2024</b>		<b>2506 SOUTH METRO FIRE DEPARTMENT</b>							
		684,854.88	FOURTH QUARTER FUNDING		117474	10/01/2024	10220.6302		PROFESSIONAL SERVICES	FIRE PROTECTION
		<u>684,854.88</u>								

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<b>152147</b>	<b>10/28/2024</b>		<b>2506 SOUTH METRO FIRE DEPARTMENT</b>						<b>Continued...</b>	
<b>152148</b>	<b>10/28/2024</b>		<b>2541 SRF CONSULTING GROUP, INC.</b>							
		8,809.40	WAKOTA TRAILHEAD FD		117475	14579.00-33	40437.6302	202108	PROFESSIONAL SERVICES	2021 LOCAL IMPROVEMENTS
		<u>8,809.40</u>								
<b>152149</b>	<b>10/28/2024</b>		<b>2553 ST. PAUL REGIONAL WATER SERVICES</b>							
		2,291.72	OTHER CITY WATER/SEWER		117477	10/09/2024	50605.6407		OTHER CITY WATER/SEWER	WATER UTILITY
		<u>2,291.72</u>								
<b>152150</b>	<b>10/28/2024</b>		<b>2558 STATE INDUSTRIAL PRODUCTS</b>							
		81.00	NM AIR CARE PRGM		117501	903529575	50677.6220		REPAIR & MAINTENANCE SUPPLIES	NAN MCKAY APT BLDG
		433.80	JC FRAGRANCE BURST		117502	903529621	50678.6220		REPAIR & MAINTENANCE SUPPLIES	JOHN CARROLL APT BLDG
		<u>514.80</u>								
<b>152151</b>	<b>10/28/2024</b>		<b>2560 STATE OF MINNESOTA</b>							
		1,242.00	CITATION APPEAL-SANIMAX		117476	527271	10130.6375		OTHER CONTRACTED SERVICES	CITY ATTORNEY
		<u>1,242.00</u>								
<b>152152</b>	<b>10/28/2024</b>		<b>4658 TOTAL TOOL SUPPLY, INC.</b>							
		7.02	HEX SCKT CAP SCREW		117549	01650647	60703.6220		REPAIR & MAINTENANCE SUPPLIES	CENTRAL GARAGE FUND
		<u>7.02</u>								
<b>152153</b>	<b>10/28/2024</b>		<b>14336 VALLE CARPET CORP</b>							
		175.00	NM #900 RPR LVP LIVING RM		117478	1025	50677.6560	229057	BUILDING FIXTURES AND IMPRS	NAN MCKAY APT BLDG
		224.00	NM COVE BASE&INSTALL		117479	1024	50677.6560	229057	BUILDING FIXTURES AND IMPRS	NAN MCKAY APT BLDG
		33,493.25	NM ALL FL HALLWAYS-PLANK		117480	Q1001.2	50677.6560	229057	BUILDING FIXTURES AND IMPRS	NAN MCKAY APT BLDG
		<u>33,892.25</u>								
<b>152154</b>	<b>10/28/2024</b>		<b>5864 VERIZON WIRELESS</b>							
		255.23	PH#3/IPADS/SCADA		117481	9975175933	50605.6390		POSTAGE AND TELEPHONE	WATER UTILITY
						10/1/24				
		<u>255.23</u>								
<b>152155</b>	<b>10/28/2024</b>		<b>14369 WELLNESS THAT FITS LLC</b>							
		302.50	WELLNESS CK/CRITICAL INCIDENT		117482	SSPPD-10102024	10210.6331		CONFERENCES, TRAINING, TRAVEL	POLICE PROTECTION
		<u>302.50</u>								
<b>152156</b>	<b>11/1/2024</b>		<b>13118 LAW ENFORCEMENT LABOR SERVICES</b>							
		2,044.50			117620	1030248370115	10101.2170		ACCRUED PAY DED PAYABLE	GENERAL FUND
		<u>2,044.50</u>								

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<b>152156</b>	<b>11/1/2024</b>		<b>13118 LAW ENFORCEMENT LABOR SERVICES</b>						<b>Continued...</b>	
<b>152157</b>	<b>11/1/2024</b>		<b>1842 LOCAL 120</b>							
		2,698.00				117624 103024837014	10101.2170		ACCRUED PAY DED PAYABLE	GENERAL FUND
		<u>2,698.00</u>								
<b>152158</b>	<b>11/4/2024</b>		<b>5257 AL SERVICES LLC</b>							
		4,577.00	INSTL LGT POLES CONCORD		117578 0628-404		50615.6371		REPAIRS & MAINT CONTRACTUAL	STREET LIGHT UTILITY
		<u>4,577.00</u>								
<b>152159</b>	<b>11/4/2024</b>		<b>6645 ALL INC</b>							
		3,027.96	NM FRIG (2) RANGE (2)		117675 S1596704.001		50677.6580	229900	OTHER EQUIPMENT	NAN MCKAY APT BLDG
		<u>3,027.96</u>								
<b>152160</b>	<b>11/4/2024</b>		<b>2134 AMERICAN MAILING MACHINES</b>							
		34.95	1 GAL SEALING SOLUTION		117579 IN122465		10150.6201		OFFICE SUPPLIES	FINANCE
		17.13	FREIGHT		117579 IN122465		10150.6201		OFFICE SUPPLIES	FINANCE
		<u>52.08</u>								
<b>152161</b>	<b>11/4/2024</b>		<b>4059 ASCENT AVIATION GROUP, INC.</b>							
		30,154.72	7000 GAL 100LL		117580 1060218		20245.6250		MERCHANDISE FOR RESALE	AIRPORT
		<u>30,154.72</u>								
<b>152162</b>	<b>11/4/2024</b>		<b>4683 ASPER, NICK</b>							
		125.00	BOOT ALLOWANCE		117581 10/24/24		50606.6245		CLOTHING ALLOWANCE	SEWER UTILITY
		<u>125.00</u>								
<b>152163</b>	<b>11/4/2024</b>		<b>9021 ATLAS STAFFING, INC.</b>							
		772.80	NM TEMP-MOUA 10/18/24		117676 1307605		50677.6302		PROFESSIONAL SERVICES	NAN MCKAY APT BLDG
		772.80	JC TEMP-MOUA 10/18/24		117676 1307605		50678.6302		PROFESSIONAL SERVICES	JOHN CARROLL APT BLDG
		<u>1,545.60</u>								
<b>152164</b>	<b>11/4/2024</b>		<b>14555 BIOTEC EMERGENCY SERVICES, LLC</b>							
		150.00	SQD 58 BIOHAZ&DETAIL CLEAN		117582 133812		10210.6210		OPERATING SUPPLIES	POLICE PROTECTION
		<u>150.00</u>								
<b>152165</b>	<b>11/4/2024</b>		<b>14696 BROOKS, THOMAS</b>							
		50.00	FINALLED-352 PARK LANE		117674 MOVE OUT _2		50605.2010		REFUNDS	WATER UTILITY
		<u>50.00</u>								
<b>152166</b>	<b>11/4/2024</b>		<b>14348 CENTER FOR ENERGY AND ENVIRONMENT</b>							

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<b>152166</b>	<b>11/4/2024</b>		<b>14348 CENTER FOR ENERGY AND ENVIRONMENT</b>						<b>Continued...</b>	
		25,000.00	1-4 UNIT LOAN WILSON		117691	25398	20298.1158.58015		WILSON 340 6TH AVE S	HOUSING REINVESTMENT
		5,197.50	1-4 UNIT LOAN TUJETSCH		117691	25398	20298.1158.58016		TUJETSCH 1411 6TH AVE S	HOUSING REINVESTMENT
		1,500.00	ORIG FEE: HOME IMPROV		117691	25398	20298.6375		OTHER CONTRACTED SERVICES	HOUSING REINVESTMENT
		<u>31,697.50</u>								
<b>152167</b>	<b>11/4/2024</b>		<b>1177 CENTRAL TURF &amp; IRRIGATION SUPPLY, INC.</b>							
		156.97	VALVE BX/AC SOLENOID ASY		117583	65001140-00	10340.6220		REPAIR & MAINTENANCE SUPPLIES	PARKS FACILITIES AND MTNCE
		<u>156.97</u>								
<b>152168</b>	<b>11/4/2024</b>		<b>4505 CIVICPLUS LLC</b>							
		14,460.87	WEBSITE HOSTING FEES		117551	315115	10120.6302		PROFESSIONAL SERVICES	CITY ADMINISTRATION
		<u>14,460.87</u>								
<b>152169</b>	<b>11/4/2024</b>		<b>2009 CORE &amp; MAIN, LP</b>							
		86.61	WATER HOSE CAP GASKET		117584	V783210	50605.6220		REPAIR & MAINTENANCE SUPPLIES	WATER UTILITY
		279.77	12" T-HANDLE WRENCH SOCKET		117585	V799812	50605.6220		REPAIR & MAINTENANCE SUPPLIES	WATER UTILITY
		<u>366.38</u>								
<b>152170</b>	<b>11/4/2024</b>		<b>1247 DAKOTA COUNTY FINANCIAL SERVICES</b>							
		1,679.76	MAY 2024 SUBSCRIBER FEE		117586	5502172	10210.6371		REPAIRS & MAINT CONTRACTUAL	POLICE PROTECTION
		1,679.76	AUG24 SUBSCRIBER FEE		117587	5502441	10210.6371		REPAIRS & MAINT CONTRACTUAL	POLICE PROTECTION
		495.00	AUG24 BATTERIES X5		117588	5502446	10210.6371		REPAIRS & MAINT CONTRACTUAL	POLICE PROTECTION
		1,679.76	SEP24 SUBSCRIBER FEE		117591	5502516	10210.6371		REPAIRS & MAINT CONTRACTUAL	POLICE PROTECTION
		201.79	UNDERPAID JUN24 SUBSCRIBER FEE		117592	5502276-1	10210.6371		REPAIRS & MAINT CONTRACTUAL	POLICE PROTECTION
		<u>5,736.07</u>								
<b>152171</b>	<b>11/4/2024</b>		<b>1265 DANNER INC.</b>							
		5,950.00	CATCH BASIN REHAB@GRAND		117593	203317	50610.6371		REPAIRS & MAINT CONTRACTUAL	STORM WATER UTILITY
		945,716.61	CONCORD EXCH IMP PRJ		117677	PMT 6	40440.6530	202401	IMPR OTHER THAN BUILDING	2024 LOCAL IMPROVEMENTS
		<u>951,666.61</u>								
<b>152172</b>	<b>11/4/2024</b>		<b>10930 DENEEN, JIM</b>							
		265.00	BOOT ALLOWANCE		117594	10/24/24	10340.6245		CLOTHING ALLOWANCE	PARKS FACILITIES AND MTNCE
		<u>265.00</u>								
<b>152173</b>	<b>11/4/2024</b>		<b>14488 ESA MANAGEMENT L.L.C.</b>							
		13,754.44	PLUMB PRJ RELOC 10/20-10/26/24		117692	1554964541.1	50678.6302	229901	PROFESSIONAL SERVICES	JOHN CARROLL APT BLDG
		1,306.25	PLUMB PRJ RELOC 10/20-10/26/24		117693	1554964542	50678.6302	229901	PROFESSIONAL SERVICES	JOHN CARROLL APT BLDG
		71.28	PLUMB PRJ RELOC 10/20-10/26/24		117694	1554964543	50678.6302	229901	PROFESSIONAL SERVICES	JOHN CARROLL APT BLDG
		420.98	PLUMB PRJ RELOC 10/13-10/19/24		117695	1554955309.1	50678.6302	229901	PROFESSIONAL SERVICES	JOHN CARROLL APT BLDG

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		420.98-	PLUMB PRJ RELOC 10/13-10/19/24		117696	1554959196.1	50678.6302	229901	PROFESSIONAL SERVICES	JOHN CARROLL APT BLDG
		<u>14,290.01</u>								
<b>152174</b>	<b>11/4/2024</b>		<b>6669 FINN DANIELS ARCHITECTS</b>							
		7,713.09	JC PLUMB PRJ CONST PH		117678	22020-17	50678.6560	229901	BUILDING FIXTURES AND IMPRS	JOHN CARROLL APT BLDG
		<u>7,713.09</u>								
<b>152175</b>	<b>11/4/2024</b>		<b>1485 GLOBE PRINTING &amp; OFFICE SUPPLIES INC</b>							
		85.00	RIBBON FOR CUTTING CEREMONY		117595	82129B	20245.6201		OFFICE SUPPLIES	AIRPORT
		<u>85.00</u>								
<b>152176</b>	<b>11/4/2024</b>		<b>1513 GREAT LAKES WEATHER SERVICE, LLC</b>							
		1,230.00	24-25 WINTER CONTRACT		117597	092419	10320.6371		REPAIRS & MAINT CONTRACTUAL	PUBLIC WORKS
		<u>1,230.00</u>								
<b>152177</b>	<b>11/4/2024</b>		<b>12788 GREENE, TREVOR</b>							
		100.00	BOOT ALLOWANCE		117596	10/24/24	10340.6245		CLOTHING ALLOWANCE	PARKS FACILITIES AND MTNCE
		<u>100.00</u>								
<b>152178</b>	<b>11/4/2024</b>		<b>14549 H AND G DRYWALL</b>							
		1,950.00	NM#216 MOVE IN PREP		117602	1021.0	50677.6371.060		MTNCE-UNIT TURNAROUND	NAN MCKAY APT BLDG
		1,650.00	NM#311 MOVE IN PREP		117603	1021.1	50677.6371.060		MTNCE-UNIT TURNAROUND	NAN MCKAY APT BLDG
		1,200.00	NM#300 MOVE IN PREP		117604	1021.2	50677.6371.060		MTNCE-UNIT TURNAROUND	NAN MCKAY APT BLDG
		1,450.00	NM#313 MOVE IN PREP		117605	1021.3	50677.6371.060		MTNCE-UNIT TURNAROUND	NAN MCKAY APT BLDG
		<u>6,250.00</u>								
<b>152179</b>	<b>11/4/2024</b>		<b>7581 HARTFORD, THE</b>							
		2,284.79	PREMIUM NOV 2024		117599	110689367124	10101.2177		LONG-TERM DISABILITY	GENERAL FUND
		1,414.95	LIFE BASIC & VOLUNTARY		117599	110689367124	10101.2178		LIFE INSURANCE	GENERAL FUND
		75.81	CRITICAL ILLNESS		117599	110689367124	10101.2183		HARTFORD CRITICAL ILLNESS	GENERAL FUND
		249.76	ACCIDENT COVERAGE		117599	110689367124	10101.2184		HARTFORD ACCIDENT POLICY	GENERAL FUND
		1,167.50	SHORT TERM DISABILITY		117599	110689367124	10101.2185		SHORT TERM DISABILITY	GENERAL FUND
		<u>5,192.81</u>								
<b>152180</b>	<b>11/4/2024</b>		<b>1556 HAWKINS, INC.</b>							
		1,825.67	HYDROFLUOSILICIC ACID		117598	6882992	50605.6220		REPAIR & MAINTENANCE SUPPLIES	WATER UTILITY
		<u>1,825.67</u>								
<b>152181</b>	<b>11/4/2024</b>		<b>6678 HD SUPPLY FACILITIES MAINTENANCE , LTD</b>							
		1,906.34	NM FIXTRS/SMOKE CO2		117600	9230746034	50677.6220		REPAIR & MAINTENANCE SUPPLIES	NAN MCKAY APT BLDG

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		1,906.34								
<b>152182</b>	<b>11/4/2024</b>		<b>9689 HOISINGTON KOEGLER GROUP, INC.</b>							
		949.72	7/1-9/30/24		117601	023-033-13	40402.6302		PROFESSIONAL SERVICES	CAPITAL PROGRAMS FUND
		949.72								
<b>152183</b>	<b>11/4/2024</b>		<b>13790 HORIZON RENOVATIONS, LLC</b>							
		5,948.37	CONCESS RENO-MCMORROW		117606	24000025	10340.6371		REPAIRS & MAINT CONTRACTUAL	PARKS FACILITIES AND MTNCE
		2,750.00	CLN/PAINT SPLASH PAD SLIDE		117607	2400023	10340.6371		REPAIRS & MAINT CONTRACTUAL	PARKS FACILITIES AND MTNCE
		8,698.37								
<b>152184</b>	<b>11/4/2024</b>		<b>1667 INVER GROVE FORD</b>							
		128.82	FILTERS		117608	5349880	60703.6220		REPAIR & MAINTENANCE SUPPLIES	CENTRAL GARAGE FUND
		16.44	OIL DRAIN PLUG #A-2		117609	5349809	60703.6220		REPAIR & MAINTENANCE SUPPLIES	CENTRAL GARAGE FUND
		556.08	LAMP ASY #2150		117610	5350160	60703.6220		REPAIR & MAINTENANCE SUPPLIES	CENTRAL GARAGE FUND
		949.09	PULLEY ASY/ALTRNTR ASY#2154		117611	5348513	60703.6220		REPAIR & MAINTENANCE SUPPLIES	CENTRAL GARAGE FUND
		105.78	TPMS SENSORS #A-3		117612	5350015	60703.6220		REPAIR & MAINTENANCE SUPPLIES	CENTRAL GARAGE FUND
		21.26	BRAKE CALIPERS #A-3		117613	5350063	60703.6220		REPAIR & MAINTENANCE SUPPLIES	CENTRAL GARAGE FUND
		1,777.47								
<b>152185</b>	<b>11/4/2024</b>		<b>6642 JOHNSON CONTROLS, INC</b>							
		1,345.60	NM HEAT EXCH SVC 9/27/24		117630	1-134495454090	50677.6560		BUILDING FIXTURES AND IMPRS	NAN MCKAY APT BLDG
		1,273.40	JC BOILER SVC 10/15/24		117631	1-134503307768	50678.6560		BUILDING FIXTURES AND IMPRS	JOHN CARROLL APT BLDG
		2,619.00								
<b>152186</b>	<b>11/4/2024</b>		<b>14086 JOHNSON, DONNETTA</b>							
		12.55	NM-REIMB RETIREMNT CARDS		117679	RETIRECARDS	50677.6375.1		OTHER CONTR SVCS-KEYPERSON	NAN MCKAY APT BLDG
		12.55								
<b>152187</b>	<b>11/4/2024</b>		<b>11377 KATH FUEL OIL SERVICE CO.</b>							
		1,100.12	DYED DIESEL		117632	811662	60703.6210		OPERATING SUPPLIES	CENTRAL GARAGE FUND
		1,100.12								
<b>152188</b>	<b>11/4/2024</b>		<b>7927 KENNEDY &amp; GRAVEN, CHARTERED</b>							
		783.00	TIF ASSINGMNT-YARDS		117636	SU150-00007	40493.6302		PROFESSIONAL SERVICES	GRAND AVE GATEWAY TIF
		493.00	HARDMAN TRIANGLE TIF ANALYSIS		117637	SU150-00013	20284.6302		PROFESSIONAL SERVICES	DEVELOPMENT
		1,276.00								
<b>152189</b>	<b>11/4/2024</b>		<b>1740 KIMLEY-HORN AND ASSOCIATES, INC.</b>							
		6,493.81	2024 LOCAL IMPROVEMENTS		117633	29533076	40440.6302	202402	PROFESSIONAL SERVICES	2024 LOCAL IMPROVEMENTS

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<b>152189</b>	<b>11/4/2024</b>		<b>1740 KIMLEY-HORN AND ASSOCIATES, INC.</b>						<b>Continued...</b>	
		6,493.81								
<b>152190</b>	<b>11/4/2024</b>		<b>1754 KNACK, MICHAEL D.</b>							
		150.94	BOOT ALLOWANCE		117634	10/25/24	10320.6245		CLOTHING ALLOWANCE	PUBLIC WORKS
		125.00	BOOT ALLOWANCE		117635	10/24/24	10320.6245		CLOTHING ALLOWANCE	PUBLIC WORKS
		275.94								
<b>152191</b>	<b>11/4/2024</b>		<b>1803 LANGUAGE LINE SERVICES</b>							
		1,626.92	OTP TRANSLATION		117638	11388887	10210.6302		PROFESSIONAL SERVICES	POLICE PROTECTION
		1,198.46	OTP TRANSLATION		117639	11413914	10210.6302		PROFESSIONAL SERVICES	POLICE PROTECTION
		2,825.38								
<b>152192</b>	<b>11/4/2024</b>		<b>11705 LEWISON, CODY</b>							
		125.00	BOOT ALLOWANCE		117640	10/24/24	10340.6245		CLOTHING ALLOWANCE	PARKS FACILITIES AND MTNCE
		125.00								
<b>152193</b>	<b>11/4/2024</b>		<b>13985 MARTIN MARIETTA MATERIALS</b>							
		23,205.90	ASPHALT 400/500 BL 11TH S		117641	44048905	10320.6220		REPAIR & MAINTENANCE SUPPLIES	PUBLIC WORKS
		324.38	ASPHALT FOR STREETS		117642	44021188	10320.6220		REPAIR & MAINTENANCE SUPPLIES	PUBLIC WORKS
		23,530.28								
<b>152194</b>	<b>11/4/2024</b>		<b>1985 MINNESOTA DEPARTMENT OF COMMERCE</b>							
		145.16	JC MOVE OUT UNIT 1004		86579	4/21/2021	50678.1101		ACCOUNTS RECEIVABLE	JOHN CARROLL APT BLDG
			<b>Supplier</b> 12841 LUCAS, DARLENE							
		145.16								
<b>152195</b>	<b>11/4/2024</b>		<b>1985 MINNESOTA DEPARTMENT OF COMMERCE</b>							
		353.43	CONNAKER MOVE OUT JC UNIT 709		82002	10/9/2020	50678.1101		ACCOUNTS RECEIVABLE	JOHN CARROLL APT BLDG
			<b>Supplier</b> 12406 CONNAKER, JAMES							
		353.43								
<b>152196</b>	<b>11/4/2024</b>		<b>1985 MINNESOTA DEPARTMENT OF COMMERCE</b>							
		10.00	GYMNASTICS REFUND		80527	8/11/2020	10520.4463		FALL, WINTER & SPRING PROGRAMS	PARKS ADMINISTRATION
			<b>Supplier</b> 12251 BRANDNER, STEPHANIE							
		10.00								
<b>152197</b>	<b>11/4/2024</b>		<b>1985 MINNESOTA DEPARTMENT OF COMMERCE</b>							
		19.50	REFUND CANCELLED SWIM CLASS		80854	8/19/2020	20250.4543		CSCC PROGRAMMING	CENTRAL SQUARE
		26.00	REFUND CANCELLED SWIM CLASS		80854	8/19/2020	20250.4543		CSCC PROGRAMMING	CENTRAL SQUARE
			<b>Supplier</b> 12354 LASTINE, LORI							

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152197	11/4/2024		<b>1985 MINNESOTA DEPARTMENT OF COMMERCE</b>						<b>Continued...</b>	
		45.50								
152198	11/4/2024		<b>1985 MINNESOTA DEPARTMENT OF COMMERCE</b>							
		100.00	TEMP CONST EASEMENT		83096	02200-25-022	40432.6302	201611	PROFESSIONAL SERVICES	2016 LOCAL IMPROVEMENTS
			<b>Supplier</b> 12467 ROJAS, MERCED R.							
		100.00								
152199	11/4/2024		<b>1985 MINNESOTA DEPARTMENT OF COMMERCE</b>							
		70.00	CANCELLED PARK RESERVATION		86153	4/15/2021	10520.4465		PARKS FACILITIES RENTAL	PARKS ADMINISTRATION
		4.99	CSCC		86153	4/15/2021	10101.2081		DUE TO OTHER GOVT-SALES	GENERAL FUND
			<b>Supplier</b> 12830 VANHEEL, EMILY							
		553.61	JC APT 604 MOVE OUT		94418	02282022	50678.1101		ACCOUNTS RECEIVABLE	JOHN CARROLL APT BLDG
			<b>Supplier</b> 13427 VANDERVEER, SHIRLEY							
		628.60								
152200	11/4/2024		<b>1985 MINNESOTA DEPARTMENT OF COMMERCE</b>							
		70.00	CANCEL LORRAINE PARK RENTAL		87154	5/18/21	10520.4465		PARKS FACILITIES RENTAL	PARKS ADMINISTRATION
		4.99	CSCC		87154	5/18/21	10101.2081		DUE TO OTHER GOVT-SALES	GENERAL FUND
		5.00	SURCHARGE		87154	5/18/21	10520.4465		PARKS FACILITIES RENTAL	PARKS ADMINISTRATION
			<b>Supplier</b> 12862 MUSTA, KELLY							
		69.99								
152201	11/4/2024		<b>5506 MMKR</b>							
		1,312.50	2023 SINGLE AUDIT&HRA FS		117643	56785	50677.6375.4		OTHER CONTR SVCS-AUDIT FEES	NAN MCKAY APT BLDG
		1,312.50	2023 SINGLE AUDIT&HRA FS		117643	56785	50678.6375.4		OTHER CONTR SVCS-AUDIT FEES	JOHN CARROLL APT BLDG
		2,625.00								
152202	11/4/2024		<b>7391 NAN MCKAY AND ASSOCIATES, INC.</b>							
		396.00	PROJECT PLANNING		117647	PCSOP02206	20260.6302		PROFESSIONAL SERVICES	HOUSING GENERAL
		396.00								
152203	11/4/2024		<b>6627 NEO ELECTRICAL SOLUTIONS, LLC</b>							
		222.64	FRANGIBLE CPL FOR SIGN		117648	9376	20245.6220		REPAIR & MAINTENANCE SUPPLIES	AIRPORT
		222.64								
152204	11/4/2024		<b>5682 NITTI SANITATION</b>							
		971.84	TRASH SVC-WOOG ARENA		117649	0000652107	20243.6379		CONT SERV/REFUSE & SANITATION	DOUG WOOG ARENA
		971.84								
152205	11/4/2024		<b>2098 RENT N SAVE PORTABLE SERVICES</b>							

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<b>152205</b>	<b>11/4/2024</b>		<b>2098 RENT N SAVE PORTABLE SERVICES</b>						<b>Continued...</b>	
		1,540.00	PORTABLE RESTROOMS		117650	80405	10520.6381		OTHER RENTALS	PARKS ADMINISTRATION
		65.00	PORTABLE RESTROOMS		117650	80405	10170.6379		CONT SERV/REFUSE & SANITATION	RECYCLING PROGRAM
		<u>1,605.00</u>								
<b>152206</b>	<b>11/4/2024</b>		<b>1636 RICOH USA, INC.</b>							
		54,342.05	NEW COPIERS		117680	1101594209	40407.6571		COMPUTER HARDWARE	EQUIPMENT ACQUISITION F
		1,810.95	NEW COPIERS		117681	1101594051	40407.6571		COMPUTER HARDWARE	EQUIPMENT ACQUISITION F
		2,689.00	NEW COPIERS		117682	1101594206	40407.6571		COMPUTER HARDWARE	EQUIPMENT ACQUISITION F
		2,689.00	NEW COPIERS		117683	1101594207	40407.6571		COMPUTER HARDWARE	EQUIPMENT ACQUISITION F
		<u>61,531.00</u>								
<b>152207</b>	<b>11/4/2024</b>		<b>5537 SAFE-FAST INC</b>							
		232.24	SAFETY GLASSES/GLOVES		117653	INV298166	10340.6220		REPAIR & MAINTENANCE SUPPLIES	PARKS FACILITIES AND MTNCE
		42.52	EAR PLUGS/LENS WIPES		117654	INV298481	10320.6220		REPAIR & MAINTENANCE SUPPLIES	PUBLIC WORKS
		<u>274.76</u>								
<b>152208</b>	<b>11/4/2024</b>		<b>2389 SAINT PAUL PUBLISHING COMPANY</b>							
		57.11	NM SR PH NEWSPPR NOV24		117652	33484	50677.6341		ADVERTISING	NAN MCKAY APT BLDG
		57.10	JC SR PH NEWSPPR NOV24		117652	33484	50678.6341		ADVERTISING	JOHN CARROLL APT BLDG
		<u>114.21</u>								
<b>152209</b>	<b>11/4/2024</b>		<b>5278 SALMEY, DANIEL</b>							
		2,293.11	IACP CONF 2024-REIMB		117651	10/23/2024	10210.6331		CONFERENCES, TRAINING, TRAVEL	POLICE PROTECTION
		<u>2,293.11</u>								
<b>152210</b>	<b>11/4/2024</b>		<b>6703 SENTRY SYSTEMS, INC</b>							
		30.00	NM MONITOR NOV24		117655	797510	50677.6375.3		OTHER CONTR SVCS-SECURITY	NAN MCKAY APT BLDG
		30.00	JC MONITOR NOV24		117655	797510	50678.6375.3		OTHER CONTR SVCS-SECURITY	JOHN CARROLL APT BLDG
		<u>60.00</u>								
<b>152211</b>	<b>11/4/2024</b>		<b>2633 SHERWIN-WILLIAMS CO., THE</b>							
		1,677.00	NM-PREP FOR MOVE INS		117644	1752-4	50677.6371.060		MTNCE-UNIT TURNAROUND	NAN MCKAY APT BLDG
		<u>1,677.00</u>								
<b>152212</b>	<b>11/4/2024</b>		<b>2491 SNAP ON TOOLS</b>							
		258.29	INJECTION GUN/LGT KIT		117656	031424187942	60703.6240		MINOR EQUIPMENT AND FURNITURE	CENTRAL GARAGE FUND
		<u>258.29</u>								
<b>152213</b>	<b>11/4/2024</b>		<b>2505 SOUTH EAST TOWING INC</b>							
		125.00	'12 FORD F250 24-2370		117657	245308	10210.6371		REPAIRS & MAINT CONTRACTUAL	POLICE PROTECTION

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<b>152213</b>	<b>11/4/2024</b>		<b>2505 SOUTH EAST TOWING INC</b>						<b>Continued...</b>	
		125.00								
<b>152214</b>	<b>11/4/2024</b>		<b>2506 SOUTH METRO FIRE DEPARTMENT</b>							
		3,018.24	REIMBURSE SSCORT III		117658	10/23/24	20212.6580	227684	OTHER EQUIPMENT	GRANTS/DONATIONS POLICE
		17,817.50	REIMBURSE BOAT		117658	10/23/24	20212.6580	227684	OTHER EQUIPMENT	GRANTS/DONATIONS POLICE
		20,835.74								
<b>152215</b>	<b>11/4/2024</b>		<b>10859 SOUTH METRO SWAT</b>							
		1,015.22	2024 FORT MCCOY TRAINING		117659	10/21/2024	10210.6331		CONFERENCES, TRAINING, TRAVEL	POLICE PROTECTION
		1,015.22								
<b>152216</b>	<b>11/4/2024</b>		<b>3646 U.S. BANK EQUIPMENT FINANCE</b>							
		112.00	COPIER LEASE		117645	540607256	10160.6210		OPERATING SUPPLIES	INFORMATION TECHNOLOGY
		112.00								
<b>152217</b>	<b>11/4/2024</b>		<b>14336 VALLE CARPET CORP</b>							
		3,110.05	NM#216 MOVE IN-PLANK		117684	1026	50677.6560	229057	BUILDING FIXTURES AND IMPRS	NAN MCKAY APT BLDG
		3,110.05	NM #300 MOVE IN-PLANK		117685	1027	50677.6560	229057	BUILDING FIXTURES AND IMPRS	NAN MCKAY APT BLDG
		3,110.05	NM#311 MOVE IN-PLANK		117686	1028	50677.6560	229057	BUILDING FIXTURES AND IMPRS	NAN MCKAY APT BLDG
		3,110.05	NM#313 MOVE IN-PLANK		117687	1029	50677.6560	229057	BUILDING FIXTURES AND IMPRS	NAN MCKAY APT BLDG
		12,440.20								
<b>152218</b>	<b>11/4/2024</b>		<b>2744 VAN PAPER COMPANY</b>							
		329.73	LINERS/PPR TWL/TP/HANDWASH		117664	086752	10330.6210		OPERATING SUPPLIES	BUILDINGS
		382.02	PPR TWL/FOAM SOAP/LINERS		117665	088188	10330.6210		OPERATING SUPPLIES	BUILDINGS
		711.75								
<b>152219</b>	<b>11/4/2024</b>		<b>14579 VCI ENVIRONMENTAL, INC.</b>							
		301,437.85	JC PLMB PRJ ABATEMENT		117688	APP.003	50678.6560	229901	BUILDING FIXTURES AND IMPRS	JOHN CARROLL APT BLDG
		301,437.85								
<b>152220</b>	<b>11/4/2024</b>		<b>12234 WEATHERS, MIKE</b>							
		125.00	BOOT ALLOWANCE		117646	10/24/24	60703.6245		CLOTHING ALLOWANCE	CENTRAL GARAGE FUND
		125.00								
<b>152221</b>	<b>11/4/2024</b>		<b>4656 WESTMOR FLUID SOLUTIONS, LLC</b>							
		2,030.82	FUEL SYST ANNUAL FLTR		117666	2090574	20245.6371		REPAIRS & MAINT CONTRACTUAL	AIRPORT
		2,030.82								
<b>152222</b>	<b>11/4/2024</b>		<b>2814 WICKE, BRIAN J.</b>							

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<b>152222</b>	<b>11/4/2024</b>		<b>2814 WICKE, BRIAN J.</b>						<b>Continued...</b>	
		659.58	IACP CONF REIMBURSE		117667	10/23/24	10210.6331		CONFERENCES, TRAINING, TRAVEL	POLICE PROTECTION
		659.58								
<b>152223</b>	<b>11/4/2024</b>		<b>2844 WSB &amp; ASSOC INC</b>							
		108.25	LEVANDER-MAINT SEP24		117668	R-020871-000-16	50610.6302	202209	PROFESSIONAL SERVICES	STORM WATER UTILITY
		3,723.50	SEIDLS TR/SHORE/HABIT-9/30		117669	R-022116-000-21	50610.6530	202115	IMPR OTHER THAN BUILDING	STORM WATER UTILITY
		368.00	MS4 SVCS SEP24		117670	R-022386-000-11	50610.6302		PROFESSIONAL SERVICES	STORM WATER UTILITY
		41,181.25	CONC IMP PRJ THRU SEP24		117671	R-023128-000-16	40440.6302	202401	PROFESSIONAL SERVICES	2024 LOCAL IMPROVEMENTS
		4,671.25	7TH/I-494 WATERMAIN IMP		117672	R-025471-000-4	40440.6302	202312	PROFESSIONAL SERVICES	2024 LOCAL IMPROVEMENTS
		50,052.25								
<b>152224</b>	<b>11/4/2024</b>		<b>2849 XCEL ENERGY</b>							
		173.78	LGTS@675 VERDEROSA		117552	51-0014533853-7 10/24/24	50615.6385		UTILITY SERVICE	STREET LIGHT UTILITY
		32.29	LGT@140 8TH A N		117553	51-0014675568-1 10/24/24	50615.6385		UTILITY SERVICE	STREET LIGHT UTILITY
		57.60	LGTS@LORRAINE		117554	51-6579081-8 10/24/24	50615.6385		UTILITY SERVICE	STREET LIGHT UTILITY
		9.61	UNIT LGT@1115 SVB		117555	51-0012493326-1 10/24/24	50615.6385		UTILITY SERVICE	STREET LIGHT UTILITY
		10.24	UNIT LGT@159 3RD A S		117556	51-0012493330-7 10/24/24	50615.6385		UTILITY SERVICE	STREET LIGHT UTILITY
		167.19	LGTS@535 5TH A S		117557	51-0012916288-2 10/24/24	50615.6385		UTILITY SERVICE	STREET LIGHT UTILITY
		170.17	UNIT LGT @ 437 CONCORD		117558	51-0013650737-3 10/24/24	50615.6385		UTILITY SERVICE	STREET LIGHT UTILITY
		144.45	UNIT LGT @ 497 CONCORD		117559	51-0013650792-0 10/24/24	50615.6385		UTILITY SERVICE	STREET LIGHT UTILITY
		103.66	UNIT LGT@922 CONCORD		117560	51-0013651320-2 10/24/24	50615.6385		UTILITY SERVICE	STREET LIGHT UTILITY
		8.21	SPEED UNIT@203 14TH A S		117561	51-0012349058-1 10/24/24	50615.6385		UTILITY SERVICE	STREET LIGHT UTILITY
		405.93	LIBRARY		117562	51-4172907-3 10/25/24	10330.6385		UTILITY SERVICE	BUILDINGS
		171.17	ELEC CHGS-681 VERDEROSA		117563	51-0010194337-8 10/25/24	50610.6385		UTILITY SERVICE	STORM WATER UTILITY
		39.89	LGT@494/7TH-940 7TH A		117564	51-9434183-8 10/25/24	50615.6385		UTILITY SERVICE	STREET LIGHT UTILITY
		102.13	ELEC CHGS-1417 4TH-SEIDLS		117565	51-0013543618-2 10/25/24	50610.6385		UTILITY SERVICE	STORM WATER UTILITY

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		17.17	ELEC CHGS-228 HARDMAN		117566	51-0346935-2 10/25/24	50606.6385		UTILITY SERVICE	SEWER UTILITY
		24.70	ELEC-PD STORAGE GARAGE		117567	51-0012468412-3 10/25/24	10210.6385		UTILITY SERVICE	POLICE PROTECTION
		83.02	LGT@555 HARDMAN/251 BRDPT		117568	51-9441931-9 10/25/24	50615.6385		UTILITY SERVICE	STREET LIGHT UTILITY
		84.47	LGT@WENTWORTH/RDBT		117569	51-9401746-0 10/25/24	50615.6385		UTILITY SERVICE	STREET LIGHT UTILITY
		258.37	PED WALKWAY LGTS		117570	51-4332057-4 10/25/24	50615.6385		UTILITY SERVICE	STREET LIGHT UTILITY
		8.21	LGT BROMLEY ICE RINK		117571	51-6322985-8 10/25/24	10340.6385		UTILITY SERVICE	PARKS FACILITIES AND MTNCE
		64.68	UNIT LGT@1301 CONCORD		117572	51-0013651382-6 10/25/24	50615.6385		UTILITY SERVICE	STREET LIGHT UTILITY
		53.87	LGT@494/7TH-1020 7TH A		117573	51-9434218-0 10/25/24	50615.6385		UTILITY SERVICE	STREET LIGHT UTILITY
		93.85	LGT@1129 19TH A		117574	51-9235217-7 10/25/24	50615.6385		UTILITY SERVICE	STREET LIGHT UTILITY
		32.27	GAS CHGS-681 VERDEROSA		117575	51-0010407065-2 10/25/24	50610.6385		UTILITY SERVICE	STORM WATER UTILITY
		500.56	PARKS		117576	51-5316080-0 102524	10340.6385		UTILITY SERVICE	PARKS FACILITIES AND MTNCE
		63.88	SPLASH POOL		117577	51-5316080-0 10/25/24	10527.6385		UTILITY SERVICE	SPLASH POOL
		220.04	ST LGT UTILITY FUND		117577	51-5316080-0 10/25/24	10527.6385		UTILITY SERVICE	SPLASH POOL
		86.44	SPLASH POOL		117577	51-5316080-0 10/25/24	10527.6385		UTILITY SERVICE	SPLASH POOL
		28,481.34	WOOG ARENA 9/25-10/24/24		117689	51-5660593-9 10/29/24	20243.6385		UTILITY SERVICE	DOUG WOOG ARENA
		237.30	WOOG OFFICE 9/25-10/24/24		117690	51-0013450928-0 10/25/24	20243.6385		UTILITY SERVICE	DOUG WOOG ARENA
		<u>31,906.49</u>								
<b>152225</b>	<b>11/4/2024</b>		<b>2866 ZEP SALES &amp; SERVICE</b>							
		657.51	CITRUS FOAM & GLASS CLNR		117673	9010385645	10340.6220		REPAIR & MAINTENANCE SUPPLIES	PARKS FACILITIES AND MTNCE
		<u>657.51</u>								
<b>801108</b>	<b>10/28/2024</b>		<b>3632 BOLTON &amp; MENK, INC.</b>							
		28,115.35	MARIE PRELIM 8/31-9/27/24		117484	0347559	40440.6302	202405	PROFESSIONAL SERVICES	2024 LOCAL IMPROVEMENTS

CITY OF SOUTH ST PAUL  
 Council Check Register by GL  
 Council Check Register and Summary

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Check #	Date	Amount	Supplier / Explanation	PO #	Doc No	Inv No	Account No	Subledger	Account Description	Business Unit
<b>801108</b>	<b>10/28/2024</b>		<b>3632 BOLTON &amp; MENK, INC.</b>						<b>Continued...</b>	
		9,472.50	7TH A/I494 CONST 8/31-9/27/24		117485	0347558	40439.6302	202312	PROFESSIONAL SERVICES	2023 LOCAL IMPROVEMENTS
		<u>37,587.85</u>								
<b>801109</b>	<b>10/28/2024</b>		<b>1825 LEVANDER, GILLEN &amp; MILLER PA</b>							
		1,500.00	SEP 24 LEGAL		117499	09-30-24-41000E	10130.6306		PROFESSIONAL SVCS - RETAINER	CITY ATTORNEY
		6,115.50	SEP 24 LEGAL		117499	09-30-24-41000E	10130.6302		PROFESSIONAL SERVICES	CITY ATTORNEY
		25,000.00	SEP 24 LEGAL		117499	09-30-24-41000E	10130.6375		OTHER CONTRACTED SERVICES	CITY ATTORNEY
		1,274.00	SEP 24 LEGAL		117499	09-30-24-41000E	20245.6302		PROFESSIONAL SERVICES	AIRPORT
		671.40	SEP 24 LEGAL		117499	09-30-24-41000E	20280.6302		PROFESSIONAL SERVICES	ECON DEV GENERAL
		14.00	SEP 24 LEGAL		117499	09-30-24-41000E	50678.6302		PROFESSIONAL SERVICES	JOHN CARROLL APT BLDG
		<u>34,574.90</u>								
<b>801110</b>	<b>10/28/2024</b>		<b>2289 R&amp;R SPECIALTIES OF WISCONSIN, INC.</b>							
		2,220.75	R&R ICE PAINTING		117472	0083254-IN	20243.6371		REPAIRS & MAINT CONTRACTUAL	DOUG WOOG ARENA
		<u>2,220.75</u>								
<b>801111</b>	<b>10/28/2024</b>		<b>2585 STREICHER'S - MINNEAPOLIS</b>							
		302.99	21-VEST CARRIER/NAMETAG		117548	11722647	10210.6245		CLOTHING ALLOWANCE	POLICE PROTECTION
		<u>302.99</u>								
<b>801112</b>	<b>11/1/2024</b>		<b>1818 LELS LOCAL 95</b>							
		101.50			117623	103024837013	10101.2170		ACCRUED PAY DED PAYABLE	GENERAL FUND
		<u>101.50</u>								
<b>801113</b>	<b>11/1/2024</b>		<b>1969 MINNESOTA AFSCME, COUNCIL NO. 5</b>							
		929.48			117625	103024837015	10101.2170		ACCRUED PAY DED PAYABLE	GENERAL FUND
		<u>929.48</u>								
<b>801114</b>	<b>11/1/2024</b>		<b>2243 POLICE FLOWER FUND</b>							
		39.00			117618	1030248370113	10101.2170		ACCRUED PAY DED PAYABLE	GENERAL FUND
		<u>39.00</u>								
<b>801115</b>	<b>11/4/2024</b>		<b>2585 STREICHER'S - MINNEAPOLIS</b>							
		21.99	2137-DOOR JAM		117660	11723242	10210.6245		CLOTHING ALLOWANCE	POLICE PROTECTION
		219.96	2134-SHIRTS X4		117661	11723239	10210.6245		CLOTHING ALLOWANCE	POLICE PROTECTION
		69.99	2137-PANTS		117662	11724767	10210.6245		CLOTHING ALLOWANCE	POLICE PROTECTION
		646.00	PEPPERBALL INERT X2		117663	11724544	10210.6210		OPERATING SUPPLIES	POLICE PROTECTION
		966.00	PEPPERBALL LIVE XPAVA X3		117663	11724544	10210.6210		OPERATING SUPPLIES	POLICE PROTECTION
		<u>1,923.94</u>								

CITY OF SOUTH ST PAUL  
 Council Check Register by GL  
 Council Check Register and Summary

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Check #	Date	Amount	Supplier / Explanation	PO #	Doc No	Inv No	Account No	Subledger	Account Description	Business Unit
<b>2024316</b>	<b>11/1/2024</b>		<b>2018 MINNESOTA STATE RETIREMENT SYSTEM (EFT)</b>						<b>Continued...</b>	
		1,040.73			117512	1023241127374	10101.2175		OTHER RETIREMENT	GENERAL FUND
		<u>1,040.73</u>								
<b>2024317</b>	<b>11/1/2024</b>		<b>2200 PERA</b>							
		566.51			117513	1023241127375	10101.2174		PERA	GENERAL FUND
		<u>566.51</u>								
<b>2024318</b>	<b>11/1/2024</b>		<b>1338 EFTPS</b>							
		217.05			117509	1023241127371	10101.2171		FEDERAL WITHHOLDING	GENERAL FUND
		822.34			117510	1023241127372	10101.2173		FICA TAX WITHHOLDING	GENERAL FUND
		<u>1,039.39</u>								
<b>2024319</b>	<b>11/1/2024</b>		<b>2013 MINNESOTA REVENUE ( C )</b>							
		156.04			117511	1023241127373	10101.2172		STATE WITHHOLDING	GENERAL FUND
		<u>156.04</u>								
<b>2024320</b>	<b>10/20/2024</b>		<b>2013 MINNESOTA REVENUE ( C )</b>							
		168.05	SALES TAX FOR SEP 2024		117514	SEP 2024	10101.2081		DUE TO OTHER GOVT-SALES	GENERAL FUND
		1.02	SALES TAX FOR SEP 2024		117514	SEP 2024	10101.4673		CASH OVER/SHORT	GENERAL FUND
		5,568.84	SALES TAX FOR SEP 2024		117514	SEP 2024	20243.2081		DUE TO OTHER GOVT-SALES	DOUG WOOG ARENA
		39.63	SALES TAX FOR SEP 2024		117514	SEP 2024	20245.2081		DUE TO OTHER GOVT-SALES	AIRPORT
		765.50	SALES TAX FOR SEP 2024		117514	SEP 2024	50605.2081		DUE TO OTHER GOVT-SALES	WATER UTILITY
		<u>6,541.00</u>								
<b>2024321</b>	<b>10/20/2024</b>		<b>14645 MEDSURETY, LLC</b>							
		26.88	FSA REIMB-HEALTH-2024		117515	10-20-2024	10101.2179		FLEXIBLE BENEFIT PLAN	GENERAL FUND
		<u>26.88</u>								
<b>2024322</b>	<b>10/21/2024</b>		<b>6037 HEALTHPARTNERS-DENTAL</b>							
		1,652.98	DENTAL CLAIMS PAID		117516	10/10/24-10/16/24	60709.6132		DENTAL CLAIMS PAID	SELF-INSURED DENTAL
		<u>1,652.98</u>								
		<u><u>3,068,910.85</u></u>	Grand Total							

<u>Payment Instrument Totals</u>	
Checks	2,980,206.91
EFT Payments	11,023.53
A/P ACH Payment	<u>77,680.41</u>
Total Payments	3,068,910.85



# CITY COUNCIL AGENDA REPORT

**DATE:** November 4, 2024  
**DEPARTMENT:** Engineering  
**PREPARED BY:** Nick Guilliams  
**AGENDA ITEM NUMBER:** 8.C.

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## **MEETING TYPE**

Regular Meeting

## **AGENDA ITEM**

### **ACTION TO BE CONSIDERED OR DESIRED OUTCOME**

Adopt Resolution 2024-124 RESOLUTION DECLARING COSTS TO BE ASSESSED FOR CONCORD EXCHANGE IMPROVEMENT PROJECT NO. 2024-01

### **OVERVIEW**

The City will hold a public hearing to review and confirm the proposed assessments for local improvements associated with Concord Exchange Improvement Project No. 2024-01, in accordance with Minnesota Statutes Chapter 429. The assessment rates were determined based on the City's adopted Assessment Policy. The proposed interest rate is 5 percent, payable over a period of 10 years, starting in 2025. The hearing is scheduled for November 4, 2024.

All affected property owners were sent notices prior to the assessment hearing. Additionally, several large-scale items were constructed after the notices were distributed, resulting in a revision of the original contract cost from \$4,320,000 to \$3,996,000.

### **SOURCE OF FUNDS**

No fiscal impact at this time.

### **ATTACHMENTS**

1. 2024-124 Resolution Declaring Costs 2024-01
2. Assessment Hearing Notice

**CITY OF SOUTH ST. PAUL  
DAKOTA COUNTY, MINNESOTA**

**RESOLUTION NO. 2024-124**

**A RESOLUTION DECLARING COSTS TO BE ASSESSED FOR  
CONCORD EXCHANGE IMPROVEMENT PROJECT NO. 2024-01**

**WHEREAS**, pursuant to Minnesota Statutes § 429.061 the costs and expense incurred and to be incurred in making the improvements of Concord Exchange Improvement Project No. 2024-01, have been calculated and so determined.

**WHEREAS**, the cost and expense incurred and to be incurred in making improvements of Concord Exchange Improvement Project No. 2024-01, is the amount of \$3,996,000.00

**WHEREAS**, Minnesota Statutes § 429.061, Subd. 1, provides that “[a]t any time after the expense incurred or to be incurred in making an improvement shall be calculated under the direction of the Council, the Council shall determine by resolution the amount of the total expense a municipality will pay, other than the amount, if any, which it will pay as a property owner and the amount to be specially assessed.”

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF SOUTH ST. PAUL:**

- 1.) The amount to be specially assessed for the Concord Exchange Improvement Project shall be 13.7% of the total amount, namely the sum of \$545,952.72.
- 2.) The remaining 86.3% of the total costs for the Concord Exchange Improvement Project, amounting to \$3,450,047.28, will be financed through a combination of Municipal State-Aid Funds, Tax Increment Funds, Developer Funds, Water Utility Funds, Sanitary Sewer Utility Funds, and Storm Sewer Utility Funds.
- 3.) The City Clerk, with the assistance of the City Engineer and City Attorney, shall forthwith calculate the proper amount to be specially assessed for such improvements against every assessable lot or parcel of land without regard to cash evaluation as provided by law. The Clerk shall thereupon file a copy of such proposed assessments with the City and the proposed assessments shall be available for public inspection.
- 4.) The City Clerk shall, upon completion of the proposed assessments, notify the City Council thereof.

Passed by the City Council of South St. Paul this 4<sup>th</sup> day of November, 2024.

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James Francis, Mayor

Attest:

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Deanna Werner, City Clerk

# **EXHIBIT A**

## **CITY OF SOUTH ST. PAUL DAKOTA COUNTY, MINNESOTA**

### **NOTICE OF HEARING ON PROPOSED SPECIAL ASSESSMENTS CONCORD EXCHANGE IMPROVEMENT PROJECT**

#### **TO WHOM IT MAY CONCERN:**

Notice is hereby given that the City Council of South St. Paul, MN, will meet in the City Council Chambers at South St. Paul City Hall, 125 Third Avenue North, South St. Paul, MN 55075 at 7:00 p.m. on Monday, November 4, 2024, to consider, and possibly adopt, the proposed assessment for **City Project No. 2024-01 Concord Exchange Improvement Project**. Adoption by the council of the proposed assessment against abutting properties may occur at the hearing.

#### Nature of Work

The full street reconstruction of Concord Exchange from Grand Avenue E to 6<sup>th</sup> Street E included bituminous base course and wear course paving, concrete curb and gutter replacement, concrete sidewalk replacement, subgrade correction, watermain improvements, sanitary sewer and storm sewer upgrades, landscaping improvements and restoration. Sidewalk improvements north of Grand Avenue E were also completed with this project.

The amount to be specially assessed against your particular lot, piece, or parcel of land is shown in the attachment to this notice. The proposed assessment roll is on file for public inspection at the City Engineer's office. You are invited to examine the assessment roll prior to the hearing. City offices are open from 8:00 to 4:30 P.M., Monday through Friday. No appointments are necessary. The assessment roll will also be available for examination at the hearing. The total amount of the proposed assessments is **\$545,952.72**. The contractor is scheduled to substantially complete the project by November 1<sup>st</sup>, 2024. The total cost of the project within South St. Paul was **\$4,320,000.00**.

Once the special assessments are levied and adopted, the special assessments will be certified to the Dakota County Auditor to be extended on the property tax lists for collection with real estate taxes. Prior to this certification, the property owner may prepay the special assessment without any interest thereon provided the prepayment is received within thirty (30) days after levy and adoption of the special assessments by the City Council. **If the property owner wishes to prepay the special assessments without any interest, then such payment must be made to the City of South St. Paul at 125 Third Avenue North, South St. Paul, MN 55075. If prepayment is not received within thirty (30) days after the special assessments are levied and adopted by the City Council, then:**

- a.) the total principal amounts of the special assessments are divided into an equal number of annual installments. The proposed number of annual installments are ten (10). The number of annual installments will be decided by City Council when the special assessments are levied.
- b.) the principal amounts of the special assessments shall bear interest at the rate determined by the City Council when the special assessments are levied. The proposed interest rate is 5%.
- c.) interest begins to accrue from the date the special assessments are levied.
- d.) the annual principal installments, together with interest accrued on the unpaid balance, are due and payable together with real estate taxes.

e.) interest on the entire special assessment from the date of levy to December 31<sup>st</sup> of the year in which the first installment is payable, is added to the first principal installment. The first installment will be due and payable in 2025.

f.) if in the future the property owner wishes to pay off the remaining balance of the assessments, then Minnesota Statute Section 429.061, Subdivision 3, provides that such payment may be made to the Dakota County Auditor, together with interest accrued to December 31<sup>st</sup> of the year in which payment is made as long as payment is made prior to November 15<sup>th</sup>; if the pay off occurs after November 15<sup>th</sup>, then interest for the next year is also added.

Written or oral objections will be considered at the meeting. No appeal to district court may be taken as to the amount of an assessment unless a written objection signed by the affected property owner is filed with the municipal clerk prior to the assessment hearing or presented to the presiding officer at the hearing. The council may upon such notice consider any objection to the amount of a proposed individual assessment at an adjourned meeting upon such further notice to the affected property owners as it deems advisable.

Under Minn. Stat. §§ 435.193 to 435.195, the South St. Paul City Council may, in its discretion, defer the payment of this special assessment for any homestead property owned by a person 65 years of age or older or one retired by virtue of a permanent and total disability for whom it would be a hardship to make the payments. When deferment of the special assessment has been granted and is terminated for any reason provided in that law, all amounts accumulated plus applicable interest become due. Any assessed property owner meeting the requirements of this law, may, within 30 days of the confirmation of the assessment, apply to the city clerk for the prescribed form for such deferral of payment of this special assessment on their property.

An owner may appeal an assessment to district court pursuant to Minn. Stat. § 429.081 by serving notice of the appeal upon the mayor or clerk of the city within 30 days after the adoption of the assessment and filing such notice with the district court within ten days after service upon the mayor or clerk.

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Deanna Werner  
City Clerk

Publish: Wednesday, October 16, 2024, and Wednesday, October 23, 2024 (Pioneer Press)

PROPERTY OWNER	PROPERTY OWNER ADDRESS	City etc	PROPERTY ADDRESS	City etc2	PID NO.	ASSESSABLE FOOTAGE (FT)	ASSESSMENT PER FRONT FOOT	TOTAL ASSESSMENT
CITY OF SOUTH ST PAUL	125 THIRD AVE N	SOUTH SAINT PAUL MN 55075			367285003232	PARCEL NOT BUILDABLE		
DRS INVESTMENT VILLC	5353 WAYZATA BLVD STE 211	SAINT LOUIS PARK MN 55416	161 CONCORD EXCHANGE N	SOUTH ST PAUL MN 55075	367285006080	262	\$90.40	\$23,684.80
SOUTH ST PAUL ECONOMIC DEVELOPMENT AUTHORITY	125 THIRD AVE N	SOUTH SAINT PAUL MN 55075			367285003233	302	\$90.40	\$27,300.80
VG MANAGEMENT LLC	1133 DELAWARE AVE	MENDOTA HEIGHTS MN 55118			367285003240	26	\$90.40	\$2,350.40
VG MANAGEMENT LLC	1133 DELAWARE AVE	MENDOTA HEIGHTS MN 55118			367285003250	25	\$90.40	\$2,260.00
VG MANAGEMENT LLC	PO BOX 513	SOUTH SAINT PAUL MN 55075	103 CONCORD EXCHANGE N	SOUTH ST PAUL MN 55075	367285003290	114	\$90.40	\$10,305.60
CITY OF SOUTH ST PAUL	125 3RD AVE N	SOUTH ST PAUL MN 55075-2093			361522003010	27	\$90.40	\$2,440.80
CITY OF SOUTH ST PAUL	125 3RD AVE N	SOUTH ST PAUL MN 55075-2093			361522003020	24	\$90.40	\$2,169.60
CITY OF SOUTH ST PAUL	125 3RD AVE N	SOUTH ST PAUL MN 55075-2093			361522003030	11	\$90.40	\$994.40
TRALPHAZ LLC	100 CONCORD EXCHANGE S	SOUTH ST PAUL MN 55075	100 CONCORD EXCHANGE S	SOUTH ST PAUL MN 55075	365870001030	73	\$90.40	\$6,599.20
GREGORY R & PATRICIA LARSON	5120 DANENS DR	EDINA MN 55439	112 CONCORD EXCHANGE S	SOUTH ST PAUL MN 55075	363255016301	300	\$90.40	\$27,120.00
DALE TSTE SCHENIAN	PO BOX 26	SOUTH ST PAUL MN 55075	116 CONCORD EXCHANGE S	SOUTH ST PAUL MN 55075	365870001276	300	\$90.40	\$27,120.00
CAP INVESTMENTS LLC	144 CONCORD EXCHANGE S	SOUTH ST PAUL MN 55075			365870001170	50	\$90.40	\$4,520.00
CAP INVESTMENTS LLC	144 CONCORD EXCHANGE S	SOUTH ST PAUL MN 55075			365870001190	50	\$90.40	\$4,520.00
CAP INVESTMENTS LLC	144 CONCORD EXCHANGE S	SOUTH ST PAUL MN 55075	144 CONCORD EXCHANGE S	SOUTH ST PAUL MN 55075	365870001240	124	\$90.40	\$11,209.60
CAP INVESTMENTS LLC	144 CONCORD EXCHANGE S	SOUTH ST PAUL MN 55075			365870001250	25	\$90.40	\$2,260.00
CAP INVESTMENTS LLC	144 CONCORD EXCHANGE S	SOUTH ST PAUL MN 55075			365870001260	47	\$90.40	\$4,248.80
THOMAS TAN NGUYEN	4914 JAMIE ROSE CT	EAGAN MN 55122	200 CONCORD EXCHANGE S	SOUTH ST PAUL MN 55075	361524002022	89	\$90.40	\$8,045.60
DONALD WAYNE MINCKE	221 CONCORD EXCHANGE S	SOUTH ST PAUL MN 55075	218 CONCORD EXCHANGE S	SOUTH ST PAUL MN 55075	361524002051	64	\$90.40	\$5,785.60
HEINCO LLC	9291 RIVERWOOD CIR	NEW LONDON MN 56273	222 CONCORD EXCHANGE S	SOUTH ST PAUL MN 55075	361524002061	90	\$90.40	\$8,136.00
SQUEAKY PROPERTIES LLC	234 CONCORD EXCHANGE S	SOUTH SAINT PAUL MN 55075			361524002070	40.3	\$90.40	\$3,643.12
SQUEAKY PROPERTIES LLC	234 CONCORD EXCHANGE S	SOUTH SAINT PAUL MN 55075			361524002080	40.3	\$90.40	\$3,643.12
SQUEAKY PROPERTIES LLC	234 CONCORD EXCHANGE S	SOUTH SAINT PAUL MN 55075	234 CONCORD EXCHANGE S	SOUTH ST PAUL MN 55075	361524002090	40.3	\$90.40	\$3,643.12
SQUEAKY PROPERTIES LLC	234 CONCORD EXCHANGE S	SOUTH SAINT PAUL MN 55075			361524002100	37.4	\$90.40	\$3,380.96
SQUEAKY PROPERTIES LLC	234 CONCORD EXCHANGE S	SOUTH SAINT PAUL MN 55075			361524002110	40	\$90.40	\$3,616.00
SQUEAKY PROPERTIES LLC	234 CONCORD EXCHANGE S	SOUTH SAINT PAUL MN 55075			361524002120	40	\$90.40	\$3,616.00
SQUEAKY PROPERTIES LLC	234 CONCORD EXCHANGE S	SOUTH SAINT PAUL MN 55075			361524002130	PARCEL NOT BUILDABLE		
SQUEAKY PROPERTIES LLC	234 CONCORD EXCHANGE S	SOUTH SAINT PAUL MN 55075			361524002140	PARCEL NOT BUILDABLE		
SQUEAKY PROPERTIES LLC	234 CONCORD EXCHANGE S	SOUTH SAINT PAUL MN 55075			361524002150	PARCEL NOT BUILDABLE		
STATE OF MN - DOT	395 JOHN IRELAND BLVD	SAINT PAUL MN 55155			366430021010	PARCEL NOT BUILDABLE		
CESAR PAUL SANCHEZ ARTEAGA	7320 130TH ST W	APPLE VALLEY MN 55124			366430021020	48	\$90.40	\$4,339.20
CESAR PAUL SANCHEZ ARTEAGA	7320 130TH ST W	APPLE VALLEY MN 55124			366430021030	44	\$90.40	\$3,977.60
CESAR PAUL SANCHEZ ARTEAGA	7320 130TH ST W	APPLE VALLEY MN 55124			366430021040	44	\$90.40	\$3,977.60
CESAR PAUL SANCHEZ ARTEAGA	7320 130TH ST W	APPLE VALLEY MN 55124			366430021050	43	\$90.40	\$3,887.20
CESAR PAUL SANCHEZ ARTEAGA	7320 130TH ST W	APPLE VALLEY MN 55124			366430021060	41	\$90.40	\$3,706.40
ARM PROPERTIES LIMITED LLC	239 DALE ST W	SOUTH SAINT PAUL MN 55075	324 CONCORD EXCHANGE S	SOUTH ST PAUL MN 55075	366430021070	42	\$90.40	\$3,796.80
ARM PROPERTIES LIMITED LLC	239 DALE ST W	SOUTH SAINT PAUL MN 55075	332 CONCORD EXCHANGE S	SOUTH ST PAUL MN 55075	366430021100	119	\$90.40	\$10,757.60
SOUTH ST PAUL ECONOMIC DEVELOPMENT AUTHORITY	125 THIRD AVE N	SOUTH ST PAUL MN 55075			366430020010	45	\$90.40	\$4,068.00
SOUTH ST PAUL ECONOMIC DEVELOPMENT AUTHORITY	125 THIRD AVE N	SOUTH ST PAUL MN 55075			366430020030	81	\$90.40	\$7,322.40
SOUTH ST PAUL ECONOMIC DEVELOPMENT AUTHORITY	125 THIRD AVE N	SOUTH ST PAUL MN 55075			366430020050	81	\$90.40	\$7,322.40
SOUTH ST PAUL ECONOMIC DEVELOPMENT AUTHORITY	125 THIRD AVE N	SOUTH ST PAUL MN 55075			366430020060	40	\$90.40	\$3,616.00

PROPERTY OWNER	PROPERTY OWNER ADDRESS	City etc	PROPERTY ADDRESS	City etc2	PID NO.	ASSESSABLE FOOTAGE (FT)	ASSESSMENT PER FRONT FOOT	TOTAL ASSESSMENT
SOUTH ST PAUL ECONOMIC DEVELOPMENT AUTHORITY	125 THIRD AVE N	SOUTH ST PAUL MN 55075			366430020071	40	\$90.40	\$3,616.00
SOUTH ST PAUL ECONOMIC DEVELOPMENT AUTHORITY	125 THIRD AVE N	SOUTH ST PAUL MN 55075			366430020091	81	\$90.40	\$7,322.40
SOUTH ST PAUL ECONOMIC DEVELOPMENT AUTHORITY	125 3RD ST N	SOUTH ST PAUL MN 55075			366430020100	40	\$90.40	\$3,616.00
ALAN D FISHER	159 DALE ST W	SOUTH ST PAUL MN 55075	440 CONCORD EXCHANGE S	SOUTH ST PAUL MN 55075	366430020110	40	\$90.40	\$3,616.00
ALAN D FISHER	159 DALE ST W	SOUTH ST PAUL MN 55075			366430020120	40	\$90.40	\$3,616.00
ALAN D FISHER	159 DALE ST W	SOUTH ST PAUL MN 55075			366430020130	42	\$90.40	\$3,796.80
ALAN D FISHER	159 DALE ST W	SOUTH ST PAUL MN 55075			366430020142	20	\$90.40	\$1,808.00
KAPOSIA CLUB LLC	225 BRIDGEPOINT DR	SOUTH SAINT PAUL MN 55075	456 CONCORD EXCHANGE S	SOUTH ST PAUL MN 55075	367286001010	364	\$90.40	\$32,905.60
WATSON TRADING LLC	7152 NEWBURY PL	WOODBURY MN 55125			367510010021	192	\$90.40	\$17,356.80
EMANUEL INVESTMENTS LLC	528 CONCORD EXCHANGE S	SOUTH ST PAUL MN 55075	528 CONCORD EXCHANGE S	SOUTH ST PAUL MN 55075	367510011320	144	\$90.40	\$13,017.60
EMANUEL INVESTMENTS LLC	528 CONCORD EXCHANGE S	SOUTH ST PAUL MN 55075			367510011272	216	\$90.40	\$19,526.40
HRA OF SOUTH ST PAUL	125 3RD AVE N	SOUTH ST PAUL MN 55075-2093			367510000152			PARCEL NOT BUILDABLE
HRA OF SOUTH ST PAUL	125 3RD AVE N	SOUTH ST PAUL MN 55075-2093			367510000070			PARCEL NOT BUILDABLE
HRA OF SOUTH ST PAUL	125 3RD AVE N	SOUTH ST PAUL MN 55075-2093			367510000060			PARCEL NOT BUILDABLE
HRA OF SOUTH ST PAUL	125 3RD AVE N	SOUTH ST PAUL MN 55075-2093			367510000020			PARCEL NOT BUILDABLE
HRA OF SOUTH ST PAUL	125 3RD AVE N	SOUTH ST PAUL MN 55075-2093			367510000010			PARCEL NOT BUILDABLE
HRA OF SOUTH ST PAUL	1253RD AVE N	SOUTH ST PAUL MN 55075			360270001060			PARCEL NOT BUILDABLE
HRA OF SOUTH ST PAUL	125 3RD AVE N	SOUTH ST PAUL MN 55075-2093			360270001050			PARCEL NOT BUILDABLE
HRA OF SOUTH ST PAUL	125 3RD AVE N	SOUTH ST PAUL MN 55075-2093			361526000051			PARCEL NOT BUILDABLE
JJMURPHY LLC	235 CONCORD EXCHANGE S	SOUTH ST PAUL MN 55075	235 CONCORD EXCHANGE S	SOUTH ST PAUL MN 55075	361526000111	188	\$90.40	\$16,995.20
D WAYNE MINCKE	2401 JEWELL LN	SOUTH ST PAUL MN 55075	221 CONCORD EXCHANGE S	SOUTH ST PAUL MN 55075	361526000211	250	\$90.40	\$22,600.00
SOUTH ST PAUL ECONOMIC DEVELOPMENT AUTHORITY	125 3RD AVE N	SOUTH ST PAUL MN 55075			361526000220	25	\$90.40	\$2,260.00
SOUTH ST PAUL ECONOMIC DEVELOPMENT AUTHORITY	125 3RD AVE N	SOUTH ST PAUL MN 55075			361526000230	25	\$90.40	\$2,260.00
SOUTH ST PAUL ECONOMIC DEVELOPMENT AUTHORITY	125 3RD AVE N	SOUTH ST PAUL MN 55075			361526000240	25	\$90.40	\$2,260.00
SOUTH ST PAUL ECONOMIC DEVELOPMENT AUTHORITY	125 3RD AVE N	SOUTH ST PAUL MN 55075			361526000250	25	\$90.40	\$2,260.00
SOUTH ST PAUL ECONOMIC DEVELOPMENT AUTHORITY	125 3RD AVE N	SOUTH ST PAUL MN 55075			361526000260	25	\$90.40	\$2,260.00
SOUTH ST PAUL ECONOMIC DEVELOPMENT AUTHORITY	125 3RD AVE N	SOUTH ST PAUL MN 55075			361526000270	25	\$90.40	\$2,260.00
RJR ENTERPRISES LLC	18901 JORDAN TRL	LAKEVILLE MN 55044	139 CONCORD EXCHANGE S	SOUTH ST PAUL MN 55075	361526000351	200	\$90.40	\$18,080.00
RJR ENTERPRISES LLC	18901 JORDAN TRL	LAKEVILLE MN 55044			361526000360	6	\$90.40	\$542.40
TL INVESTMENTS GROUP LLC	111 CONCORD EXCHANGE S	SOUTH SAINT PAUL MN 55075			361526000433	194	\$90.40	\$17,537.60
TL INVESTMENTS GROUP LLC	111 CONCORD EXCHANGE S	SOUTH SAINT PAUL MN 55075	111 CONCORD EXCHANGE S	SOUTH ST PAUL MN 55075	361526000531	263	\$90.40	\$23,775.20
TL INVESTMENTS GROUP LLC	111 CONCORD EXCHANGE S	SOUTH SAINT PAUL MN 55075			367285002321	170	\$90.40	\$15,368.00
SOUTH ST PAUL ECONOMIC DEVELOPMENT AUTHORITY	125 3RD AVE N	SOUTH ST PAUL MN 55075			367285002285	360	\$90.40	\$32,544.00
SSTP PROPERTIES LLC	5097 WOODLANE ALCOVE	WOODBURY MN 55129	166 CONCORD EXCHANGE N	SOUTH ST PAUL MN 55075	367285002284	170	\$90.40	\$15,368.00
<b>CONCORD EXCHANGE IMPROVEMENT PROJECT PERLIMINARY ASSESSMENT TOTAL</b>						<b>6039.3</b>		<b>\$545,952.72</b>



# CITY COUNCIL AGENDA REPORT

**DATE:** November 4, 2024  
**DEPARTMENT:** Police  
**PREPARED BY:** Brian Wicke  
**AGENDA ITEM NUMBER:** 8.D.

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## MEETING TYPE

Regular Meeting

## AGENDA ITEM

### **ACTION TO BE CONSIDERED OR DESIRED OUTCOME**

Adopt Resolution 2024-129 approving Management Control Agreement between Dakota County Social Services, Dakota County Sheriff's Office, and City of South St. Paul.

### **OVERVIEW**

Dakota County Social Services (DCSS) has entered into a joint powers agreement with the City of South St. Paul, through the police department, to provide DCSS employees to assist people who need mental health crisis services in our community.

The Federal Bureau of Investigation Criminal Justice Information Services Security Policy (CJIS Security Policy) requires that when criminal justice functions, regardless of location, are performed by a non-criminal justice agency, there must be a management control agreement with a criminal justice agency.

DCSS is a non-criminal justice agency and has select employees assigned to law enforcement agencies throughout the County, who may have unsupervised access to criminal justice information. The Dakota County Sheriff's Office has agreed to set, maintain, and enforce the standards for the selection, supervision, and termination of DCSS personnel access for criminal justice information on behalf of the law enforcement agencies served by DCSS.

The Management Control Agreement between Dakota County Social Services, the Dakota County Sheriff's Office and the City of South St. Paul has been reviewed by the City Attorney.

### **SOURCE OF FUNDS**

N/A

### **ATTACHMENTS**

1. Resolution 2024-129
2. Management Control Agreement

City of South St. Paul  
Dakota County, Minnesota

**RESOLUTION NO. 2024-129**

**RESOLUTION APPROVING MASTER CONTROL AGREEMENT BETWEEN  
DAKOTA COUNTY SOCIAL SERVICES, DAKOTA COUNTY SHERIFF'S OFFICE,  
AND CITY OF SOUTH ST. PAUL**

WHEREAS, the City of South St. Paul on behalf of its Police Department desires to enter into a Master Control Agreement with Dakota County Social Services (DCSS) and the Dakota County Sheriff's Office for the selection, supervision, and termination of DCSS personnel access to Criminal Justice Information maintained and accessed by the department.

**NOW, THEREFORE, BE IT RESOLVED:** by the City Council of the City of South St. Paul, Minnesota, as follows:

1. That the Master Control Agreement between Dakota County Social Services, the Dakota County Sheriff's Office and the City of South St. Paul on behalf of its Police Department, are hereby approved. A copy of the Master Control Agreement is attached to this Resolution and made a part of it.
2. That Chief Brian Wicke, or his successor, is designated the Authorized Representative for the City of South St. Paul, on behalf of its Police Department. The Authorized Representative is also authorized to sign any subsequent amendment that may be required to maintain this Master Control Agreement.

Adopted this 4<sup>th</sup> day of November 2024.

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Deanna Werner - City Clerk

**MANAGEMENT CONTROL AGREEMENT  
BETWEEN DAKOTA COUNTY SOCIAL  
SERVICES DEPARTMENT, DAKOTA COUNTY  
SHERIFF'S OFFICE, AND CITY OF SOUTH  
ST. PAUL FOR EMBEDDED SOCIAL  
WORKER JPA**

WHEREAS, the County of Dakota Social Services Department ("DCSS") has entered into a joint powers agreement with the City of South St. Paul, through its Police Department, ("Agency") to provide DCSS employees to assist people who need mental health crisis services on a prompt basis to protect their health, safety, and welfare (the "JPA"); and

WHEREAS, DCSS is a non-criminal justice agency; and

WHEREAS, DCSS employees may have access to Criminal Justice Information within the control of Agency in the performance of its duties under the JPA; and

WHEREAS, the Dakota County Sheriff's Office ("DCSO") has agreed to set, maintain, and enforce the standards for the selection, supervision, and termination of DCSS personnel access to DCSO's Criminal Justice Information and agrees to do the same on behalf of Agency; and

WHEREAS, the Federal Bureau of Investigation Criminal Justice Information Services Security Policy ("CJIS Security Policy") requires that when criminal justice functions, regardless of location, are performed by a non-criminal justice agency there must be a management control agreement with a criminal justice agency; and

WHEREAS, DCSS wishes to enter into this Management Control Agreement ("MCA") with the DCSO and Agency, which are both criminal justice agencies.

ACCORDINGLY, DCSS, DCSO, and Agency agree as follows:

1. Based on the above provisions and pursuant to the CJIS Security Policy requirements it is agreed that with respect to administration of that portion of the computer systems and network infrastructure interfacing directly or indirectly with the State of Minnesota's Bureau of Criminal Apprehension Criminal Justice Data Communications Network for the interstate exchange of criminal history/criminal justice information:
  - a. The Agency shall have the authority, via managed control, to set, maintain, and enforce:
    - i. Priorities;
    - ii. Policy governing operation of justice systems, computers, access devices, circuits, hubs, routers, firewalls, and any other components, including encryption, that comprise and support a telecommunications network and related criminal justice systems to include but not limited to criminal history record/criminal justice systems information guaranteeing the priority, integrity, and availability of service needed by the criminal justice community;
    - iii. Restriction of unauthorized personnel from access or use of equipment accessing the State network; and
    - iv. Compliance with all rules and regulations of the DCSO policies and CJIS Security Policy in the operation of all information received.
  - b. The DCSO shall have the authority, via managed control, to set, maintain, and enforce the standards for the selection, supervision, and termination of DCSS personnel access to Criminal Justice Information in Agency's possession.
2. Responsibility for management of security control of the criminal justice function shall remain with the Agency, as required by the CJIS Security Policy.
3. This MCA covers the overall supervision of Agency systems, applications, equipment, systems design, programming, and operational procedures associated with the development, implementation, and

maintenance of any Agency system to include NCIC (National Crime Information Center) Programs that may be subsequently designed and/or implemented within the Criminal Justice Agency.

- 4. This MCA may be executed in one or more counterparts, each of which shall be deemed to be an original, but all of which together shall be deemed to constitute one and the same agreement.
- 5. This MCA shall be in full force for the term of the JPA.

IN WITNESS WHEREOF, the undersigned governmental units have caused this MCA to be executed on the date so indicated.

**Dakota County Sheriff's Office (DCSO)**

By: \_\_\_\_\_

Joe Leko, Dakota County Sheriff

Date: \_\_\_\_\_

**South St. Paul Police Department (Agency)**

By: \_\_\_\_\_

Name: Brian Wicke

Title: Chief of Police

Date: \_\_\_\_\_

**Dakota County Social Services Department (DCSS)**

By:  \_\_\_\_\_

Marti Fischbach, Community Services Division Director

Date: 10/29/2024 | 1:06 PM CDT

Approved as to form for County of Dakota:

/s/G Paul Beaumaster 10/15/2024

Attorney / Date

File Number: KS-2024-00653



# CITY COUNCIL AGENDA REPORT

**DATE:** November 4, 2024  
**DEPARTMENT:** Public Works  
**PREPARED BY:** Melissa Blair  
**AGENDA ITEM NUMBER:** 8.E.

## MEETING TYPE

Regular Meeting

## AGENDA ITEM

### **ACTION TO BE CONSIDERED OR DESIRED OUTCOME**

Motion to accept the quote from Curbside Landscape & Turf maintenance for turf maintenance services for 2025-2027 as outlined in the quote dated October 2024.

### **OVERVIEW**

Every three years the City goes out for turf maintenance services including fertilization and weed control for several City properties. These properties include McMorrow Soccer Fields, McGuire Field, Veteran’s Field, Lawshe Park, City Hall, Library, Public Works, Grandview Park, Harmon Park, Lorraine Park & pool areas, Summit Park, Spruce Park and Northview Park, Concord boulevard areas, Woog Arena, Pump Houses, Water Towers, Simon’s Ravine Trailhead, Kaposia Park entrance and ballfield, Grand Avenue streetscape boulevards, Jefferson, and Kaposia Landing. (Airport will be asked each year if they want it done) A copy of the quote is attached.

The totals are based on having a spring application of both fertilizer and weed control and a fall fertilization but not weed control. Staff also asked for Neonicotinoid Free Pesticide amounts as the City has passed a Resolution in 2015 for support for protecting Pollinators. Curbside acknowledged that their chemicals are a non-neonicotinoid and are reflected in their prices for fertilization and weed control.

The total value of all the services quoted is as follows for the three-year period of 2025 - 2027:

<b>Vendor:</b>	<b>Cost for full year - fertilization &amp; weed control 2025</b>	<b>Cost for full year - fertilization &amp; weed control 2026</b>	<b>Cost for full year - fertilization &amp; weed control 2027</b>	<b>TOTAL</b>
Curbside	\$41,781.00	\$48,324.00	\$53,159.00	\$143,264.00
TruGreen	\$48,280.00	\$48,280.00	\$48,280.00	\$144,840.00
Davy Tree	\$53,159.00	\$76,112.00	\$78,417.00	\$228,340.00

Staff recommends accepting the quote from Curbside Landscape and Turf Maintenance in the amount of \$143,264.00 for a three-year total.

**SOURCE OF FUNDS**

2025 - 2027 Parks Maintenance Budget, Airport Budget

**ATTACHMENTS**

1. 2024-3-yr Request for Quotation Turf Maintenance - Copy

**Request for Quotation  
Turf Maintenance  
For  
City of South St. Paul, MN**

Quotes are due October 21, 2024 by 10:00 a.m.

The undersigned, having familiarized themselves with the existing conditions of the subject areas affecting the cost of the work and project specifications, as prepared by the City of South St. Paul Public Works Department, South St. Paul, Minnesota; hereby propose to furnish all supervision, equipment, products, and services; required to complete the work in accordance with the above listed documents at, and for the prices listed for work, in place, for the following:

**PLEASE NOTE:** The City may decide, based on budget considerations, that a late summer/early fall fertilization may or may not be implemented. Also, the acreages listed are approximations only.

	<b>2025</b>	<b>2026</b>	<b>2027</b>
<b>McMorrow Soccer Fields –(14.13 Acres)</b>			
Fertilization (per application)	\$ _____	\$ _____	\$ _____
Weed Control (per application)	\$ _____	\$ _____	\$ _____
Neonicotinoid Free Pesticide	\$ _____	\$ _____	\$ _____
<b>Jefferson Field – (4.48 Acres)</b>			
Fertilization (per application)	\$ _____	\$ _____	\$ _____
Weed Control (per application)	\$ _____	\$ _____	\$ _____
Neonicotinoid Free Pesticide	\$ _____	\$ _____	\$ _____
<b>Harmon Softball Field – (0.8 Acres) (Harmon Park &amp; Playground)</b>			
Fertilization (per application)	\$ _____	\$ _____	\$ _____
Weed Control (per application)	\$ _____	\$ _____	\$ _____
Neonicotinoid Free Pesticide	\$ _____	\$ _____	\$ _____
<b>McGuire Baseball Field – (2.5 Acres)</b>			
Fertilization (per application)	\$ _____	\$ _____	\$ _____
Weed Control (per application)	\$ _____	\$ _____	\$ _____
Neonicotinoid Free Pesticide	\$ _____	\$ _____	\$ _____
<b>Lorraine Park &amp; Pool (not including McGuire Field) (8.65 acres)</b>			
Fertilization (per application)	\$ _____	\$ _____	\$ _____
Weed Control (per application)	\$ _____	\$ _____	\$ _____
Neonicotinoid Free Pesticide	\$ _____	\$ _____	\$ _____
<b>Veterans Field – (7.5 Acres)</b>			
Fertilization (per application)	\$ _____	\$ _____	\$ _____
Weed Control (per application)	\$ _____	\$ _____	\$ _____
Neonicotinoid Free Pesticide	\$ _____	\$ _____	\$ _____

**Kaposia Park (Entrance area & ball field) (5.2 acres)**

Fertilization (per application)	\$ _____	\$ _____	\$ _____
Weed Control (per application)	\$ _____	\$ _____	\$ _____
Neonicotinoid Free Pesticide	\$ _____	\$ _____	\$ _____

**City Hall & Library – (0.35 Acres)**

Fertilization (per application)	\$ _____	\$ _____	\$ _____
Weed Control (per application)	\$ _____	\$ _____	\$ _____
Neonicotinoid Free Pesticide	\$ _____	\$ _____	\$ _____

**Lawshe Park – (0.22 Acres)**

Fertilization (per application)	\$ _____	\$ _____	\$ _____
Weed Control (per application)	\$ _____	\$ _____	\$ _____
Neonicotinoid Free Pesticide	\$ _____	\$ _____	\$ _____

**Grand Ave/3<sup>rd</sup> Avenue boulevards from Concord St. to Marie Ave (0.4 acres)**

Fertilization (per application)	\$ _____	\$ _____	\$ _____
Weed Control (per application)	\$ _____	\$ _____	\$ _____
Neonicotinoid Free Pesticide	\$ _____	\$ _____	\$ _____

**Concord Street - boulevard between Concord Street and Concord Exchange from Frontage Road to BridgePoint Drive (2.1 acres)**

Fertilization (per application)	\$ _____	\$ _____	\$ _____
Weed Control (per application)	\$ _____	\$ _____	\$ _____
Neonicotinoid Free Pesticide	\$ _____	\$ _____	\$ _____

**Grandview Park – (1 Acre)**

Fertilization (per application)	\$ _____	\$ _____	\$ _____
Weed Control (per application)	\$ _____	\$ _____	\$ _____
Neonicotinoid Free Pesticide	\$ _____	\$ _____	\$ _____

**Summit Park – (0.5 Acres)**

Fertilization (per application)	\$ _____	\$ _____	\$ _____
Weed Control (per application)	\$ _____	\$ _____	\$ _____
Neonicotinoid Free Pesticide	\$ _____	\$ _____	\$ _____

**Spruce Park – (0.93 Acres)**

Fertilization (per application)	\$ _____	\$ _____	\$ _____
Weed Control (per application)	\$ _____	\$ _____	\$ _____
Neonicotinoid Free Pesticide	\$ _____	\$ _____	\$ _____

**Northview Park- (2.75 Acres)**

Fertilization (per application)	\$ _____	\$ _____	\$ _____
Weed Control (per application)	\$ _____	\$ _____	\$ _____
Neonicotinoid Free Pesticide	\$ _____	\$ _____	\$ _____

**Simon's Ravine Trailhead (1.0 acres)**

Fertilization (per application)	\$ _____	\$ _____	\$ _____
Weed Control (per application)	\$ _____	\$ _____	\$ _____
Neonicotinoid Free Pesticide	\$ _____	\$ _____	\$ _____

**South St. Paul Airport - Weed Control only (105 acres) – May not be needed, but please quote**

Weed Control (per application)	\$ _____	\$ n/a	\$ _____
Neonicotinoid Free Pesticide	\$ _____	\$ n/a	\$ _____

**Conver Tennis Courts @ 2000 Conver Ave (1.74 acres)**

Fertilization (per application)	\$ _____	\$ _____	\$ _____
Weed Control (per application)	\$ _____	\$ _____	\$ _____
Neonicotinoid Free Pesticide	\$ _____	\$ _____	\$ _____

**Pumphouse #1 @ 559 9<sup>th</sup> Ave So – (.50 acres)**

Fertilization (per application)	\$ _____	\$ _____	\$ _____
Weed Control (per application)	\$ _____	\$ _____	\$ _____
Neonicotinoid Free Pesticide	\$ _____	\$ _____	\$ _____

**Pumphouse #2 @ 1250 19<sup>th</sup> Ave No – (.13 acres)**

Fertilization (per application)	\$ _____	\$ _____	\$ _____
Weed Control (per application)	\$ _____	\$ _____	\$ _____
Neonicotinoid Free Pesticide	\$ _____	\$ _____	\$ _____

**Pumphouse #3 & Archery Range @ 405 Kaposia Ave – (.24 acres)**

Fertilization (per application)	\$ _____	\$ _____	\$ _____
Weed Control (per application)	\$ _____	\$ _____	\$ _____
Neonicotinoid Free Pesticide	\$ _____	\$ _____	\$ _____

**Pumphouse #7 @ 520 Farwell Ave – (1.15 acres)**

Fertilization (per application)	\$ _____	\$ _____	\$ _____
Weed Control (per application)	\$ _____	\$ _____	\$ _____
Neonicotinoid Free Pesticide	\$ _____	\$ _____	\$ _____

**Pumphouse #8 @ 245 21<sup>st</sup> Ave So – (.75 acres)**

Fertilization (per application)	\$ _____	\$ _____	\$ _____
Weed Control (per application)	\$ _____	\$ _____	\$ _____
Neonicotinoid Free Pesticide	\$ _____	\$ _____	\$ _____

**Water Tower @ 1755 4<sup>th</sup> St So. – (.67 acres)**

Fertilization (per application)	\$ _____	\$ _____	\$ _____
Weed Control (per application)	\$ _____	\$ _____	\$ _____
Neonicotinoid Free Pesticide	\$ _____	\$ _____	\$ _____

**Water Tower @ 259 17<sup>th</sup> Ave No. – (1.47 acres)**

Fertilization (per application)	\$ _____	\$ _____	\$ _____
Weed Control (per application)	\$ _____	\$ _____	\$ _____
Neonicotinoid Free Pesticide	\$ _____	\$ _____	\$ _____

**Water Tower @ 745 9<sup>th</sup> Ave So. – (.18 acres)**

Fertilization (per application)	\$ _____	\$ _____	\$ _____
Weed Control (per application)	\$ _____	\$ _____	\$ _____
Neonicotinoid Free Pesticide	\$ _____	\$ _____	\$ _____

**Water Tower @ 1908 Thompson Ave – (.55 acres)**

Fertilization (per application)	\$ _____	\$ _____	\$ _____
Weed Control (per application)	\$ _____	\$ _____	\$ _____
Neonicotinoid Free Pesticide	\$ _____	\$ _____	\$ _____

**Woog Arena @ 141 6<sup>th</sup> St. So. – (.23 acres)**

Fertilization (per application)	\$ _____	\$ _____	\$ _____
Weed Control (per application)	\$ _____	\$ _____	\$ _____
Neonicotinoid Free Pesticide	\$ _____	\$ _____	\$ _____

**Kaposia Landing @ 800 Bryant Ave – ( 7.6 acres – Fert. & Weed) (18.4 acres Weed only)**

Fertilization (per application)	\$ _____	\$ _____	\$ _____
Weed Control (per application)	\$ _____	\$ _____	\$ _____
Neonicotinoid Free Pesticide	\$ _____	\$ _____	\$ _____

**Public Works @ 400 E Richmond St – (.32 acres)**

Fertilization (per application)	\$ _____	\$ _____	\$ _____
Weed Control (per application)	\$ _____	\$ _____	\$ _____
Neonicotinoid Free Pesticide	\$ _____	\$ _____	\$ _____

**Bromley & 23<sup>rd</sup> Ave No – ( 1.74 acres)**

Fertilization (per application)	\$ _____	\$ _____	\$ _____
Weed Control (per application)	\$ _____	\$ _____	\$ _____
Neonicotinoid Free Pesticide	\$ _____	\$ _____	\$ _____

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Unsigned quotes will not be considered. Quotes containing any alterations or erasures may be rejected. This City of South St Paul is tax exempt per Minnesota Statute 297A.98 and should not be charged sales tax. All quotes must be submitted on this form, enclosed in a sealed envelope, clearly marked and addressed to the Asst to Public Works Director.

In submitting this quotation, the contractor understands the rights reserved by the City (owner) of South St. Paul, MN, to reject any and all quotes, to waive any informality in the quotes, and to hold all quotes for the purpose of reviewing the quotation and investigating the qualifications of contractors, prior to accepting the quotation. If written notice of the acceptance of the quotation is mailed, telegraphed or delivered to the undersigned within forty-five (45) days after the opening thereof, or at any time thereafter before the quotation is withdrawn, the undersigned agrees to execute and deliver the agreed services during the prescribed time frame.

Respectfully submitted:

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*Signature*

---

*Title*

---

*Please Print Name*

---

*Legal Name of Quoting Entity*

---

*Address*

---

---

*Commercial Pesticide Applicants  
License Number (MN)*

---

*Date*

---

*Acceptance by the City of South St. Paul*

---

*Printed Name*

---

*Date*

## **Project Specifications**

### **Fertilization**

The contractor shall use a granular fertilizer or comparable with a 50% slow release rate. All fertilizer should have N-P-K numbers in the ratio of 2-0-1 as a minimum and 2-0-2 as a maximum. All fertilizer used in the spring shall contain a pre-emergent herbicide, except for the fertilizer used at the McMorrow soccer field and McGuire baseball field where top dressing and seeding will be done (by City). All fertilizer used in the fall should be designated as a "winterize" fertilizer. Fertilizer shall be applied at a rate not less than 1.0 lbs. per 1,000 square feet.

### **Weed Control**

The contractor shall use a broadleaf weed control product and apply in accordance with the manufacturer's specification. The City reserves the right to require the contractor to return and re-apply the weed control product if broadleaf weeds return to the park after the initial application at no additional cost to the City.

### **Neonicotinoid Free Pesticide**

The City passed a Resolution expressing support for protecting Pollinators, fostering the creation of Pollinator habitat, and communicating the importance of Pollinators to the residents of South St Paul. Staff requests that commercial applications of chemicals by contracted agents are free of systemic pesticides in the neonicotinoid family.

### **Timing**

The timing of the application of the fertilization and weed control shall be at the discretion of the City. It is anticipated that weed control will occur in early June and fertilization in early May, however the City will allow application of both weed control and fertilizer at same time, if the contractor has the ability to apply. Depending on budgets, the City may decide to have a late summer or fall fertilization application.



# CITY COUNCIL AGENDA REPORT

**DATE:** November 4, 2024  
**DEPARTMENT:** Planning & Zoning  
**PREPARED BY:** Monika Miller  
**AGENDA ITEM NUMBER:** 8.F.

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## MEETING TYPE

Regular Meeting

## AGENDA ITEM

### **ACTION TO BE CONSIDERED OR DESIRED OUTCOME**

Motion to accept the quote from CurbSide Landscape & Irrigation for streetscaping services along Concord Street, Concord Exchange, and Grand Avenue.

### **OVERVIEW**

In the last several years, Concord Street, Concord Exchange, and Grand Avenue have been reconstructed, giving the “gateway” streets into South St. Paul a significant aesthetic upgrade. As part of these projects, new and enhanced streetscape treatments were installed to beautify the streets. New streetscape treatments included street trees, planter beds, and landscape islands.

As with any landscaped area, regular maintenance will be required to ensure the streetscape continues to look nice. Previously these areas were maintained in part by a group of dedicated volunteers; however, the scale of maintenance needed for the streetscape exceeded what the volunteer groups were able to offer. The EDA’s annual budget contains funds dedicated specifically to maintaining the streetscapes in the gateway corridor and so the City has decided to hire a landscaping contractor to maintain these streetscapes.

Earlier this fall, the City reached out to 4 qualified landscape contractors to request quotes for landscaping services. Only 1 of the contractors, CurbSide Landscape, responded fully to the City’s request. CurbSide submitted a proposal with the following competitive rates:

- Mulch installation - \$12,591/ visit
- Tree Pruning- \$3,000/ visit
- Plant Pruning- \$2,600/ visit
- Weeding- \$1,950/ visit
- Watering- \$100/ hour

Landscaping services along this corridor will start in 2025. Weeding and watering services will likely occur every other week, while pruning and mulching will likely occur once or twice a year.

### **SOURCE OF FUNDS**

EDA Contractual Services Budget.

**ATTACHMENTS**

1. Attachment A -Curbside Proposal
2. Attachment B - Draft Contract With CurbSide

**ATTACHMENT A  
CURBSIDE LANDSCAPE PROPOSAL**



12468 Zinran Ave  
Savage, MN 55377  
(952) 403-9012 Office  
www.curbsidelandscape.com



DATE: 8/26/2024

COMPANY: City of South St. Paul

Project Site: Specified Medians, Planters, and Bolewards

NAME: Monika Miller

ADDRESS

CITY: Souht St. Paul

Prepared by: John Markoe

**LANDSCAPE:**

Proposal 1.0

**Mulch Installation**

Top Dressing of Brown Mulch in Planters, Tree Rings, and Landscape Beds as specified by the City of South St. Paul  
Equipment Mobilization  
Delivery

\*\*\*Pricing is Per Time\*\*\*

**TOTAL \$ 12,591.00**

\_\_\_\_\_  
*Customers Signature*

\_\_\_\_\_  
*Date Signed*

**Tree Pruning**

Tree Pruning. Pruning of specified trees, suckers, and water sputs  
All debris will be hauled off site and disposed of when job is completed  
Equipment Mobilization  
Delivery

\*\*\*Pricing is Per Time\*\*\*

**TOTAL \$ 3,000.00**

\_\_\_\_\_  
*Customers Signature*

\_\_\_\_\_  
*Date Signed*

**Plant Pruning**

Pruning of plant material in specified Landscape Beds and Planters. Pruning will take place (2) times per growing season  
Equipment Mobilization  
Delivery

\*\*\*Pricing is Per Time\*\*\*

---

TOTAL \$ 2,600.00

---

Customers Signature

---

Date Signed

**Weeding**

Weeding and Spraying of Non Selective Herbicide for Landscape Beds, Planters, Tree Rings  
All debris will be hauled off site and disposed of when job is completed  
Weeding will take place (1) time per month  
Equipment Mobilization  
Delivery

\*\*\*Pricing is Per Time\*\*\*

---

TOTAL \$ 1,950.00

---

Customers Signature

---

Date Signed

**Watering**

---

Watering of all Planters and Trees, as directed by South St. Paul City Official

Watering will be billed on a Time & Material Basis. Watering will be billed at \$100/HR

Equipment Mobilization

Delivery

**\*\*\*Pricing is Per Time\*\*\***

---

TOTAL \$100.00/HR

---

*Customers Signature*

---

*Date Signed*

***All work areas have been depicted by the City of South St. Paul. Pricing is based of the depicted areas.***





**ATTACHMENT B**  
**DRAFT CONTRACT WITH CURBSIDE**  
**LANDSCAPE & IRRIGATION**

**AGREEMENT FOR PROFESSIONAL SERVICES**

THIS AGREEMENT (“Agreement”) is made and executed this \_\_\_\_ day of \_\_\_\_\_, 2024, by and between the City of South St. Paul, 125 3<sup>rd</sup> Avenue North, South St. Paul, MN 55075, (“City”) and CurbSide Landscape & Irrigation, 12468 Zinran Avenue, Savage, MN 55377 (“Contractor”).

WHEREAS, the City has accepted the proposal of the Contractor for certain Services; and

WHEREAS, Contractor desires to perform the professional services for the City under the terms and conditions set forth in this Agreement.

NOW THEREFORE, in consideration of the mutual consideration contained herein, it is hereby agreed as follows:

1. SERVICES.

- a. City agrees to engage the Contractor as an independent contractor for the purpose of performing certain professional services (“Services”), as defined in the following documents:
  - i. A proposal for services, incorporated herein as Exhibit A;
  - ii. Streetscape Scope of Work, incorporated herein as Exhibit B;
  - iii. Landscaping plans for Concord Exchange, incorporated herein as Exhibit C;
  - iv. Landscaping plans for Concord Street, incorporated herein as Exhibit D;
- b. Contractor covenants and agrees to provide and perform the Services to the reasonable satisfaction of the City in a timely fashion, as set forth in the Exhibits, subject to Section 7 of this Agreement.
- c. Contractor agrees to comply with all federal, state, and local laws and ordinances applicable to the Services to be performed under this Agreement, including all safety standards. The Contractor shall be solely and completely responsible for conditions of the job site, including the safety of all persons and property during the performance of the Services. The Contractor represents and warrants that it has the requisite training, skills, and experience necessary to provide the Services and is appropriately licensed and has obtained all permits from all applicable agencies

and governmental entities.

2. PAYMENT.

- a. City agrees to pay the Contractor in accordance with the rates listed on Exhibit A, and the Contractor agrees to receive and accept payment for the Services as set forth in Exhibit A.
- b. Any changes in the scope of the work of the Services that may result in an increase to the compensation due the Contractor shall require prior written approval by the authorized representative of the City or by the City Council. The City will not pay additional compensation for Services that do not have prior written authorization.
- c. Contractor shall submit itemized bills for the Services provided to the City on a monthly basis. Bills submitted shall be paid within thirty (30) days of submission of each bill.

3. TERM. The term of this Agreement shall commence on the date this Agreement is signed by both parties and shall terminate on December 31, 2025. This Agreement may be extended upon the written mutual consent of the parties for such additional period as they deem appropriate, and upon the same terms and conditions as herein stated.

4. TERMINATION.

- a. Termination by Either Party. This Agreement may be terminated by either party upon thirty (30) days' written notice delivered to the other party to the addresses listed in Section 13 of this Agreement. Upon termination under this provision, if there is no default by the Contractor, the Contractor shall be paid for the Services rendered and reimbursable expenses incurred until the effective date of termination.
- b. Termination Due to Default. This Agreement may be terminated by either party upon written notice in the event of substantial failure by the other party to perform in accordance with the terms of this Agreement. The non-performing party shall have fifteen (15) calendar days from the date of the termination notice to cure the default or to submit a plan to cure the default that is reasonably acceptable to the other party.

5. SUBCONTRACTORS. Contractor shall not enter into subcontracts for any of the Services provided for in this Agreement without the express written consent of the City, unless specifically provided for in the Exhibit. The Contractor shall pay any subcontractor involved in the performance of this Agreement within the ten (10) days of the Contractor's receipt of payment by the City for undisputed services provided by the subcontractor.

6. STANDARD OF CARE. In performing its Services, Contractor will use that degree of care and skill ordinarily exercised, under similar circumstances, by reputable members of its profession in the same locality at the time the Services are provided. No warranty, express or implied, is made or intended by Contractor's undertaking herein or its performance of

the Services.

7. DELAY IN PERFORMANCE. Neither City nor Contractor shall be considered in default of this Agreement for delays in performance caused by circumstances beyond the reasonable control of the nonperforming party. For purposes of this Agreement, such circumstances include, but are not limited to, abnormal weather conditions; floods; earthquakes; fire; epidemics; pandemics; war, riots, and other civil disturbances; strikes, lockouts, work slowdowns, and other labor disturbances; sabotage; judicial restraint; and inability to procure permits, licenses or authorizations from any local, state, or federal agency for any of the supplies, materials, accesses, or services required to be provided by either City or Contractor under this Agreement. If such circumstances occur, the nonperforming party shall, within a reasonable time of being prevented from performing, give written notice to the other party describing the circumstances preventing continued performance and the efforts being made to resume performance of this Agreement. Contractor will be entitled to payment for its reasonable additional charges, if any, due to the delay.
8. CITY'S REPRESENTATIVE. The City has designated Monika Miller, Associate Planner to act as the City's representative with respect to the Services to be performed under this Agreement. She shall have complete authority to transmit instructions, receive information, interpret, and define the City's policy and decisions with respect to the Services covered by this Agreement.
9. PROJECT MANAGER AND STAFFING. The Contractor has designated Gerrod Schultz to be the primary contacts for the City in the performance of the Services. They shall be assisted by other staff members as necessary to facilitate the completion of the Services in accordance with the terms established herein. Contractor may not remove or replace these designated staff without the approval of the City.
10. INDEMNIFICATION.
  - a. Contractor and City each agree to defend, indemnify, and hold harmless each other, its agents and employees, from and against legal liability for all claims, losses, damages, and expenses (including, but not limited to, reasonable attorneys' fees) to the extent such claims, losses, damages, or expenses are caused by its negligent acts, errors, or omissions. In the event claims, losses, damages, or expenses are caused by the joint or concurrent negligence of Contractor and City, they shall be borne by each party in proportion to its own negligence.
  - b. Contractor shall indemnify City against legal liability for damages arising out of claims by Contractor's employees, and/or subcontractors, except to the extent caused by City. City shall indemnify Contractor against legal liability for damages arising out of claims by City's employees, except to the extent caused by Contractor.
  - c. The attorney fee indemnification obligations of the parties under this section are contingent upon the indemnified party: (i) notifying the indemnifying party promptly of the claim and tendering to that party the exclusive right to control and direct the investigation, preparation, and settlement of the claim; and (ii) if the

tender is accepted, giving the indemnifying party, at the expense of the indemnified party, reasonable cooperation; provided, however, that the failure of the indemnified party to promptly give the indemnifying party notice shall affect that party's obligation to indemnify only to the extent the rights of that party are materially prejudiced by such failure, and further provided that the indemnified party may participate, at its own expense, in such defense and in any settlement discussions directly or through counsel of its choice.

11. INSURANCE. During the performance of the Services under this Agreement, Contractor shall maintain the following insurance:

- a. General Liability Insurance, with a limit of \$2,000,000 for any number of claims arising out of a single occurrence, pursuant to Minnesota Statutes, Section 466.04, or as may be amended;
- b. Workers' Compensation Insurance in accordance with statutory requirements.
- c. Automobile Liability Insurance, with a combined single limit of \$1,000,000 for each person and \$1,000,000 for each accident.

Contractor shall furnish the City with certificates of insurance, which shall include a provision that such insurance shall not be canceled without written notice to the City. The City shall be named as an additional insured on the General Liability Insurance policy and the Professional Liability Insurance policy.

12. NOTICES. Notices shall be communicated to the following addresses:

If to City: City of South St. Paul  
125 3<sup>rd</sup> Ave. N.  
South St. Paul, MN 55075

Or e-mailed: [mmiller@southstpaul.org](mailto:mmiller@southstpaul.org)

If to Contractor: CurbSide Landscape & Irrigation  
12468 Zinran Avenue  
Savage, MN 55377

Or e-mailed: [GSchultz@curbsidelawn.com](mailto:GSchultz@curbsidelawn.com)

13. INDEPENDENT CONTRACTOR STATUS. All services provided by Contractor, its officers, agents and employees pursuant to this Agreement shall be provided as employees of Contractor or as independent contractors of Contractor and not as employees of the City for any purpose.

14. GENERAL PROVISIONS.

- a. Assignment. This Agreement is not assignable without the mutual written agreement of the parties.
- b. Waiver. A waiver by either City or Contractor of any breach of this Agreement shall be in writing and signed by both parties. Such a waiver shall not affect the waiving party's rights with respect to any other or further breach.
- c. Governing Law. This Agreement shall be construed in accordance with the laws of the State of Minnesota and any action must be venued in a federal or state court with jurisdiction over Dakota County, Minnesota.
- d. Severability. If any term of this Agreement is found be void or invalid, such invalidity shall not affect the remaining terms of this Agreement, which shall continue in full force and effect.
- e. Data Practices Compliance. All data collected by the City pursuant to this Agreement shall be subject to the Minnesota Government Data Practices Act, Minnesota Statutes, Chapter 13.
- f. Entire Agreement. This Agreement constitutes the entire agreement of the parties and supersedes all prior communications, understandings and agreements relating to the subject matter hereof, whether oral or written.

**CITY OF SOUTH ST. PAUL**

By: \_\_\_\_\_  
James P. Francis, Mayor

**ATTEST:**

By: \_\_\_\_\_  
Deanna Werner, City Clerk

Date: \_\_\_\_\_

**CURBSIDE LANDSCAPE & IRRIGATION**

By: \_\_\_\_\_

Its: \_\_\_\_\_

Date: \_\_\_\_\_

# Exhibit A



12468 Zinran Ave  
Savage, MN 55377  
(952) 403-9012 Office  
www.curbsidelandscape.com



DATE: 8/26/2024

COMPANY: City of South St. Paul

Project Site: Specified Medians, Planters, and Bolevards

NAME: Monika Miller

ADDRESS

CITY: Souht St. Paul

Prepared by: John Markoe

**LANDSCAPE:**

Proposal 1.0

## Mulch Installation

Top Dressing of Brown Mulch in Planters, Tree Rings, and Landscape Beds as specified by the City of South St. Paul  
Equipment Mobilization  
Delivery

\*\*\*Pricing is Per Time\*\*\*

TOTAL \$ 12,591.00

\_\_\_\_\_  
*Customers Signature*

\_\_\_\_\_  
*Date Signed*

## Tree Pruning

Tree Pruning. Pruning of specified trees, suckers, and water sputs  
All debris will be hauled off site and disposed of when job is completed  
Equipment Mobilization  
Delivery

\*\*\*Pricing is Per Time\*\*\*

TOTAL \$ 3,000.00

\_\_\_\_\_  
*Customers Signature*

\_\_\_\_\_  
*Date Signed*

**Plant Pruning**

Pruning of plant material in specified Landscape Beds and Planters. Pruning will take place (2) times per growing season  
Equipment Mobilization  
Delivery

\*\*\*Pricing is Per Time\*\*\*

---

TOTAL \$ 2,600.00

---

Customers Signature

---

Date Signed

**Weeding**

Weeding and Spraying of Non Selective Herbicide for Landscape Beds, Planters, Tree Rings  
All debris will be hauled off site and disposed of when job is completed  
Weeding will take place (1) time per month  
Equipment Mobilization  
Delivery

\*\*\*Pricing is Per Time\*\*\*

---

TOTAL \$ 1,950.00

---

Customers Signature

---

Date Signed

**Watering**

---

Watering of all Planters and Trees, as directed by South St. Paul City Official

Watering will be billed on a Time & Material Basis. Watering will be billed at \$100/HR

Equipment Mobilization

Delivery

**\*\*\*Pricing is Per Time\*\*\***

---

TOTAL \$100.00/HR

---

*Customers Signature*

---

*Date Signed*

***All work areas have been depicted by the City of South St. Paul. Pricing is based of the depicted areas.***

## EXHIBIT B

### Concord Street/Concord Exchange/Grand Avenue Maintenance Project Scope of Work

The City of South St. Paul is soliciting quotes for a landscaping contractor to assist with bi-weekly maintenance of the new landscaped areas and trees along Concord Street, Concord Exchange, and Grand Avenue. The scope and locations of work are as follows:

- Concord Street from I-494 north to Wentworth Avenue.
  - o Weeding/pruning in the corner planter boxes at Grand Ave and Hardman Ave
  - o As needed, watering of all trees/planter boxes
  - o As needed, pruning of trees
  - o Seasonal mulching (trees)
  
- Concord Exchange from the southern terminus to the northern terminus @ north end of Post Office
  - o Weeding of tree grates
  - o Weeding/pruning of corner planter boxes at Grand Avenue
  - o Weeding/pruning of landscaped areas
  
- Grand Avenue from 3rd Avenue to Concord Street
  - o Weeding/pruning of landscaped medians
  - o Seasonal mulching (trees)

The as-builts for Concord Street and the landscaping plans for Grand Avenue/ Concord Exchange detail the desired locations for landscaping services.

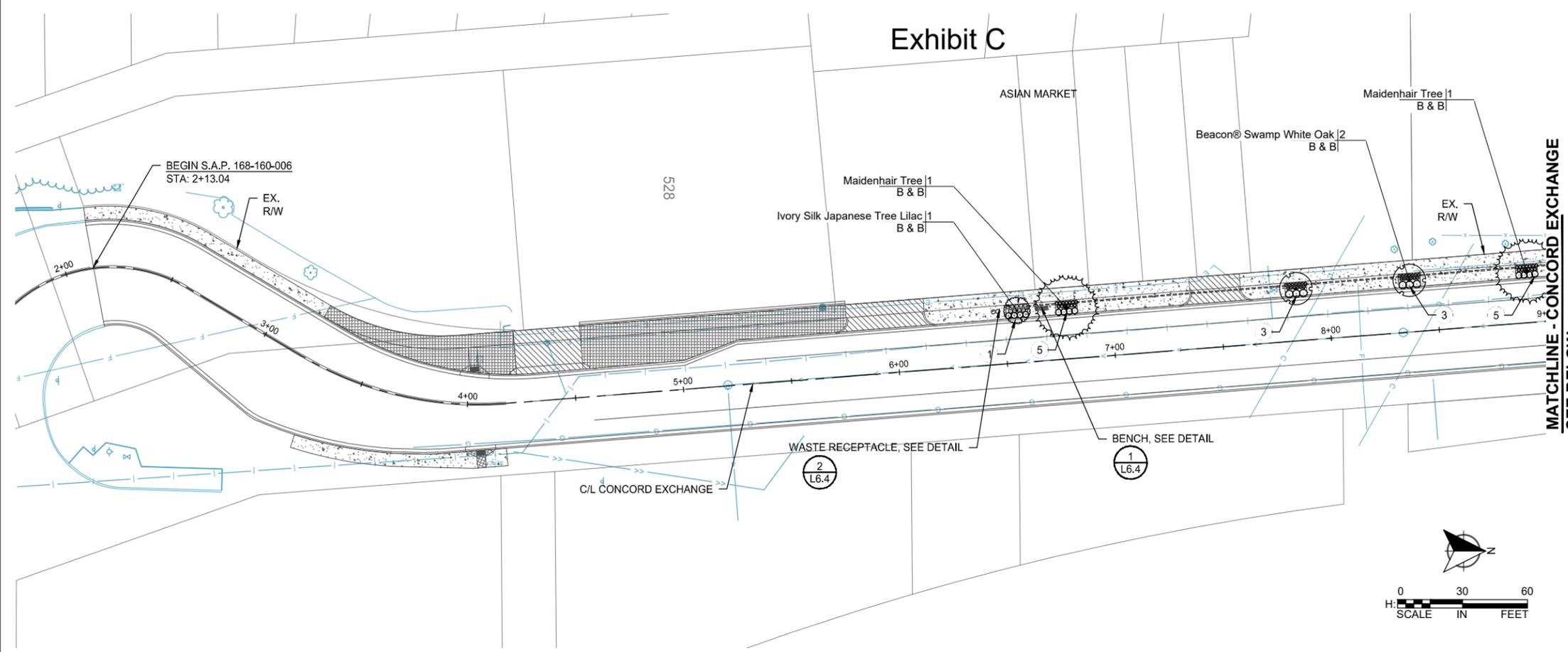
# Exhibit C

LOCATION



SCALE: AS SHOWN  
 PLAN BY: PL  
 DESIGN BY: PL  
 CHECK BY: JL

NO.	DATE	DESCRIPTION

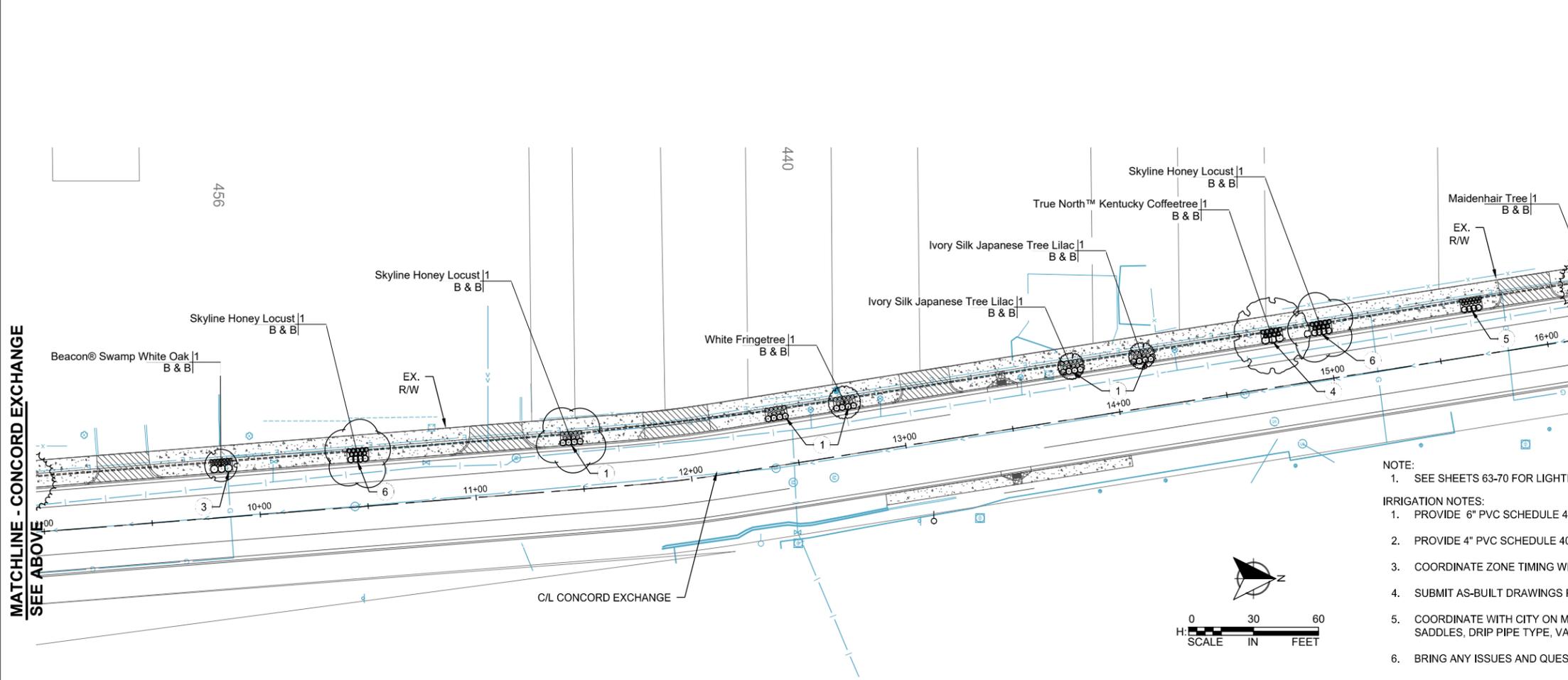


MATCHLINE - CONCORD EXCHANGE  
SEE BELOW

**LEGEND**

- CONSTRUCTION LIMITS
- EXISTING CONTOUR
- EXISTING DECIDUOUS TREE
- TEMPORARY EASEMENT
- PROPOSED CONTOUR
- WASTE RECEPTACLE, SEE DETAIL 2/L6.4
- BENCH, SEE DETAIL 1/L6.4
- SODDING SALT RESISTANT COMPLETE WITH 6" TOPSOIL, FERTILIZER TYPE 3, & SOIL BED PREPARATION
- IRRIGATION SLEEVE - REFER TO IRRIGATION NOTES
- IRRIGATION CONNECTION - SEE DETAIL 4/L6.1

- PLANTING MODULE KEY:**
1. PLANTING MODULE TYPE A, SEE DETAIL 1/L5.7
  2. PLANTING MODULE TYPE B, SEE DETAIL 2/L5.7
  3. PLANTING MODULE TYPE C, SEE DETAIL 3/L5.7
  4. PLANTING MODULE TYPE D, SEE DETAIL 4/L5.7
  5. PLANTING MODULE TYPE E, SEE DETAIL 5/L5.7
  6. PLANTING MODULE TYPE F, SEE DETAIL 6/L5.7



MATCHLINE - CONCORD EXCHANGE  
SEE ABOVE

MATCHLINE STA - 16+50  
SEE SHEET - L5.2

- NOTE:**
1. SEE SHEETS 63-70 FOR LIGHTING PLANS.
- IRRIGATION NOTES:**
1. PROVIDE 6" PVC SCHEDULE 40 SLEEVING UNDER ROADS. 24 INCH MINIMUM BURY.
  2. PROVIDE 4" PVC SCHEDULE 40 SLEEVING UNDER WALKS AND DRIVES. 18 INCH MINIMUM BURY.
  3. COORDINATE ZONE TIMING WITH CITY DURING PLANT ESTABLISHMENT PERIOD.
  4. SUBMIT AS-BUILT DRAWINGS PRIOR TO INSTALLATION FOR REVIEW BY LANDSCAPE ARCHITECT.
  5. COORDINATE WITH CITY ON MATERIAL AND MANUFACTURER TYPES FOR ALL SPRAY ITEMS, SADDLES, DRIP PIPE TYPE, VALVES, ETC. ALL LATERAL PIPE TO BE SDR 21 CL 200 PIPE.
  6. BRING ANY ISSUES AND QUESTIONS TO THE CITY PRIOR TO AS-BUILT DRAWING COMPLETION.

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

*Jared C. Lee*  
 JARED C. LEE  
 DATE: 02-05-2024 LIC. NO.: 44389

## CONCORD EXCHANGE LANDSCAPE PLAN

### CONCORD EXCHANGE IMPROVEMENTS SOUTH ST. PAUL, MINNESOTA

WSB PROJECT NO. 023128-000

S.A.P. 168-160-006

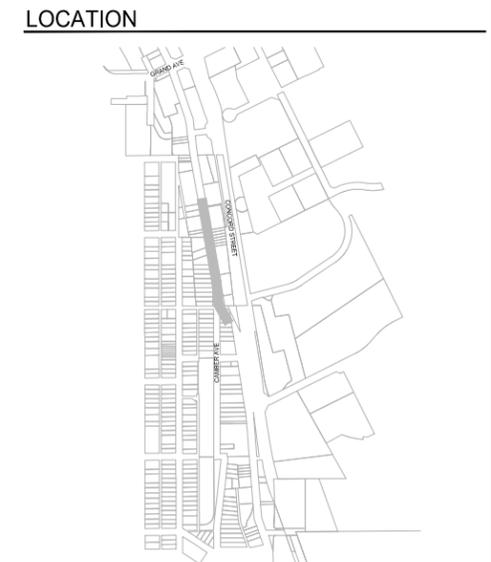
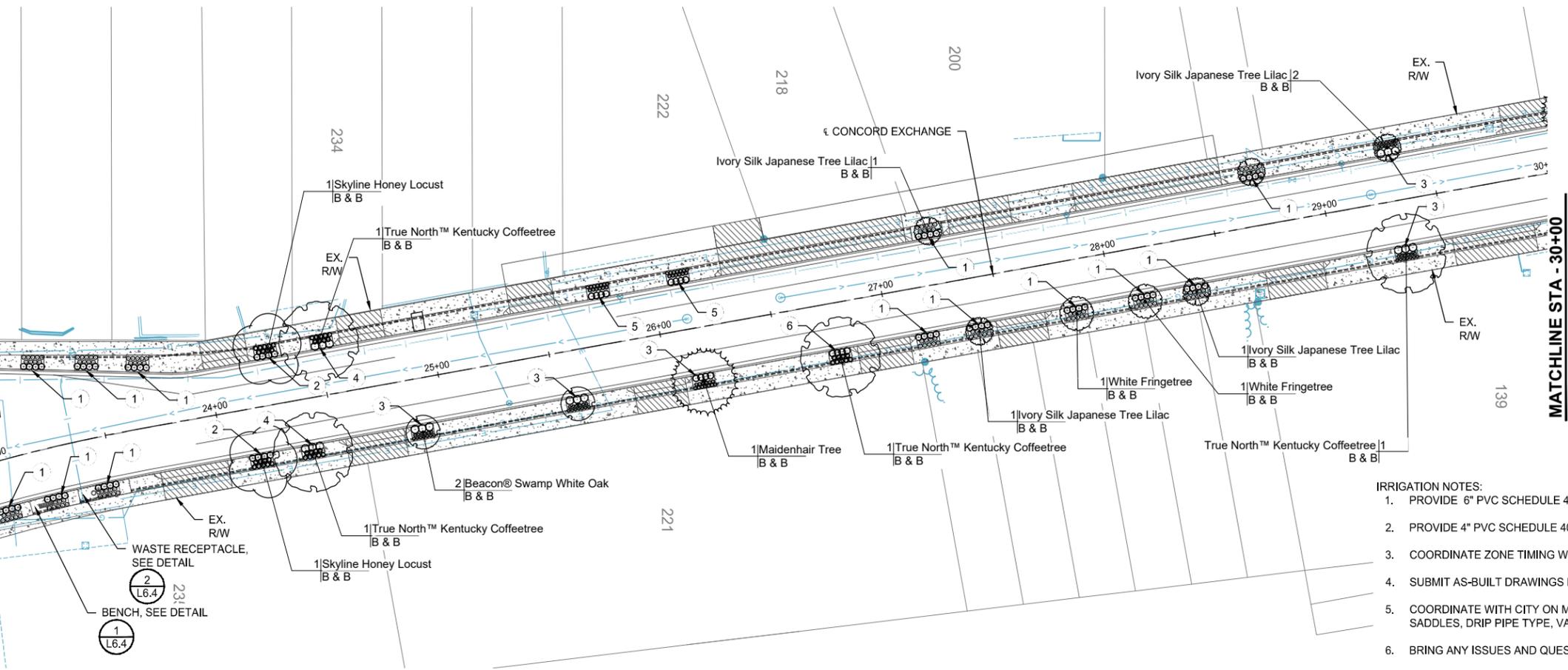
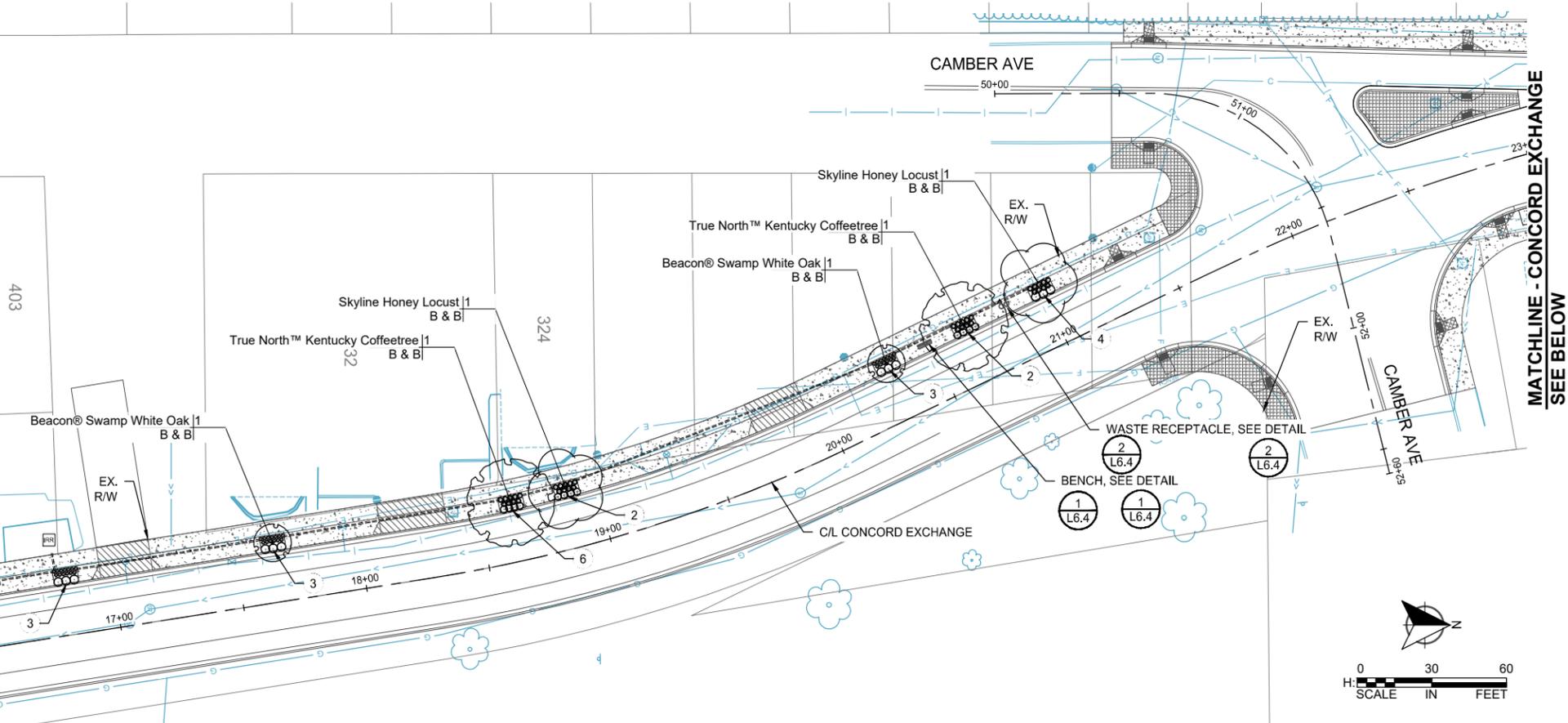
SHEET L5.1 OF 128

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MATCHLINE STA - 16+50  
SEE SHEET - 59

MATCHLINE - CONCORD EXCHANGE  
SEE ABOVE



**LEGEND**

- CONSTRUCTION LIMITS
- EXISTING CONTOUR
- EXISTING DECIDUOUS TREE
- TEMPORARY EASEMENT
- PROPOSED CONTOUR
- WASTE RECEPTACLE, SEE DETAIL 2/L6.4
- BENCH, SEE DETAIL 1/L6.4
- SODDING SALT RESISTANT COMPLETE WITH 6" TOPSOIL, FERTILIZER TYPE 3, & SOIL BED PREPARATION
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- IRRIGATION CONNECTION - SEE DETAIL 4/L6.1

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- NOTE:**
1. SEE SHEETS 63-70 FOR LIGHTING PLANS.

- IRRIGATION NOTES:**
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  5. COORDINATE WITH CITY ON MATERIAL AND MANUFACTURER TYPES FOR ALL SPRAY ITEMS, SADDLES, DRIP PIPE TYPE, VALVES, ETC. ALL LATERAL PIPE TO BE SDR 21 CL 200 PIPE.
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**wsb** **ssp**

SCALE: AS SHOWN  
PLAN BY: PL

DESIGN BY: PL  
CHECK BY: JL

NO.	DATE	DESCRIPTION

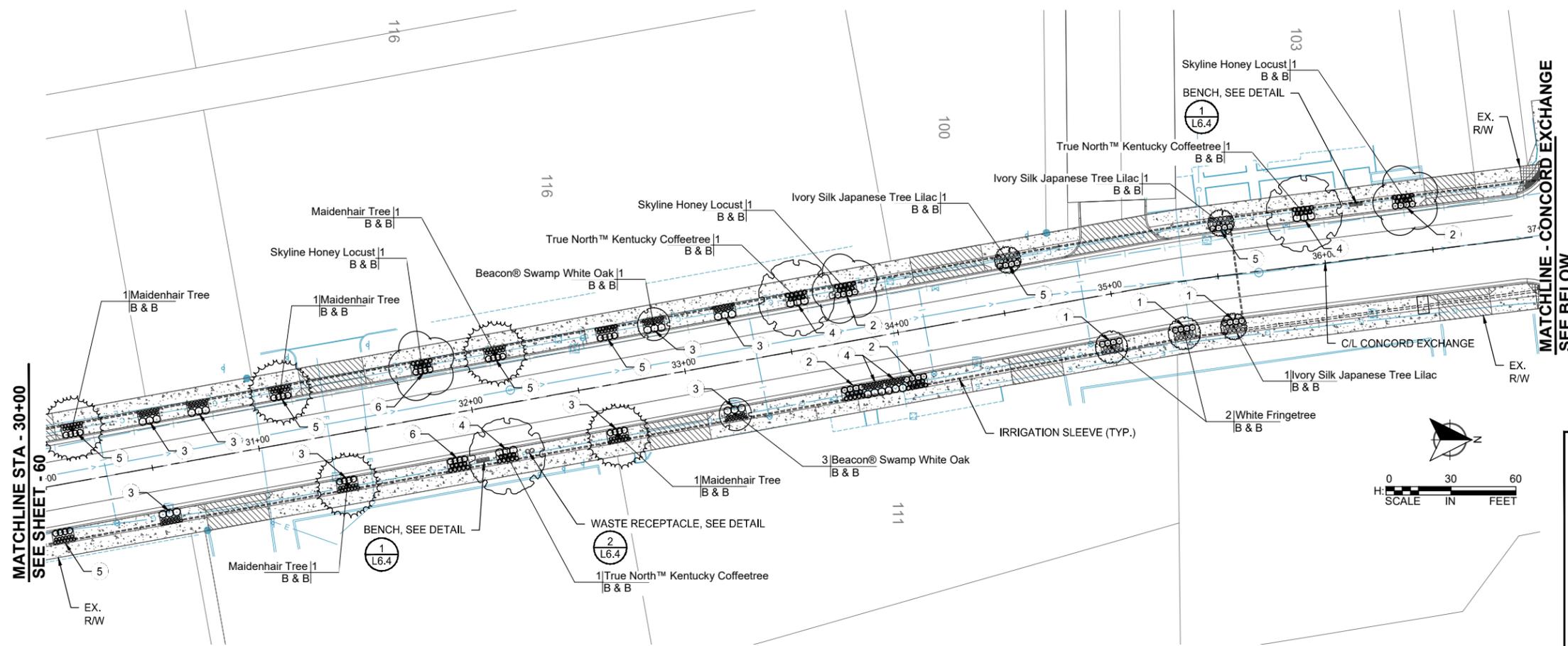
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

*Jared C. Lee*  
JARED C. LEE  
LIC. NO.: 44389  
DATE: 02-05-2024

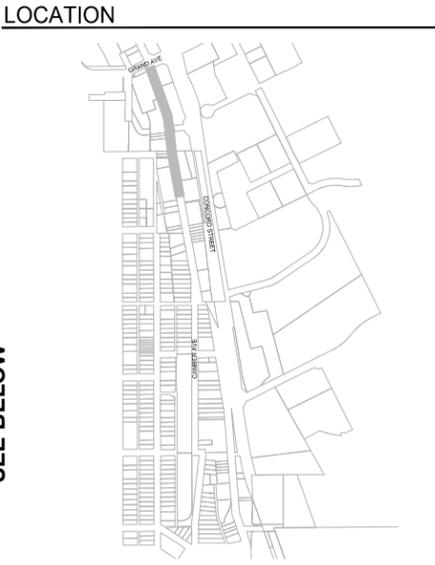
**CONCORD EXCHANGE LANDSCAPE PLAN**

**CONCORD EXCHANGE IMPROVEMENTS SOUTH ST. PAUL, MINNESOTA**

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### CONCORD EXCHANGE

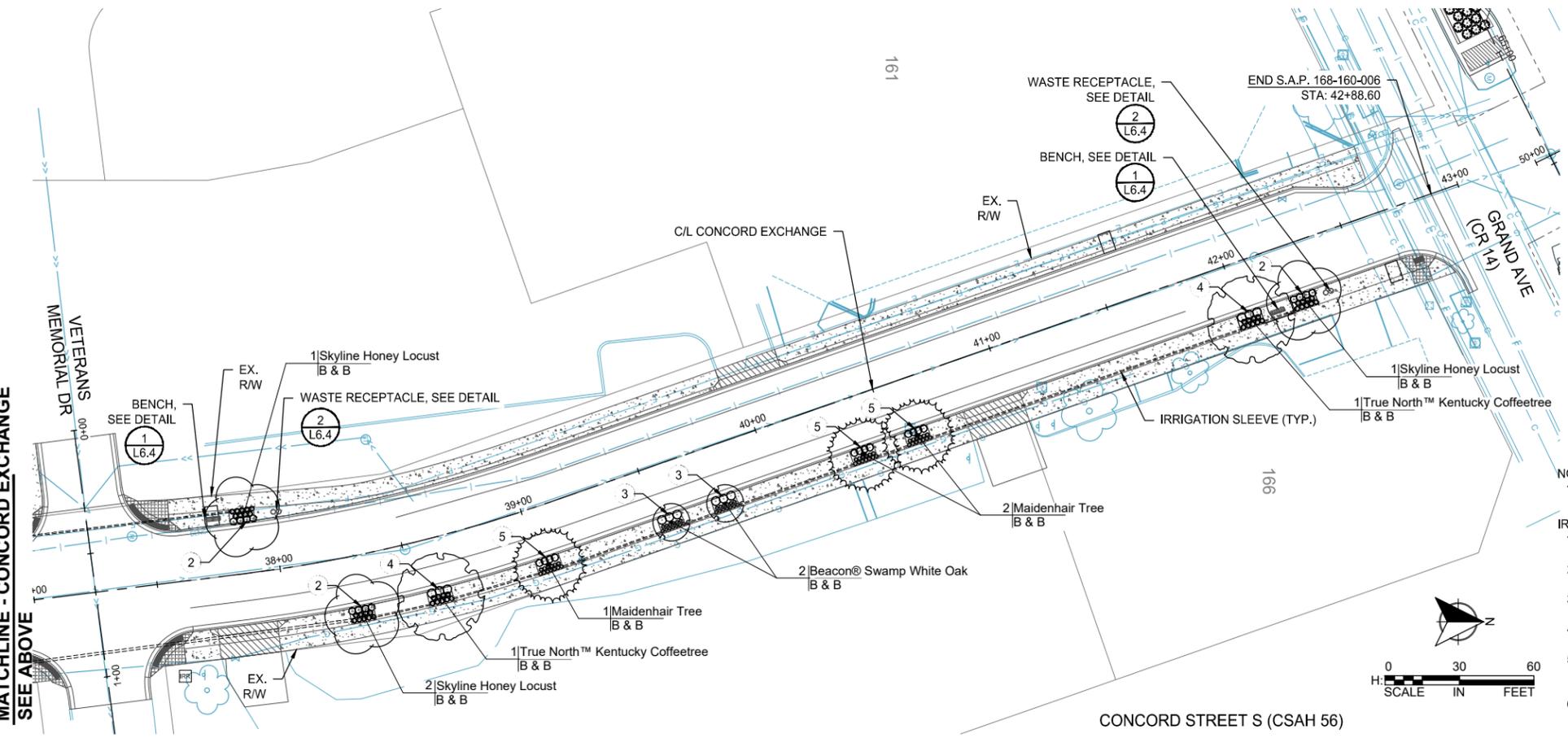


**LEGEND**

- CONSTRUCTION LIMITS
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- TEMPORARY EASEMENT
- PROPOSED CONTOUR
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### CONCORD STREET S (CSAH 56)

NO.	DATE	DESCRIPTION

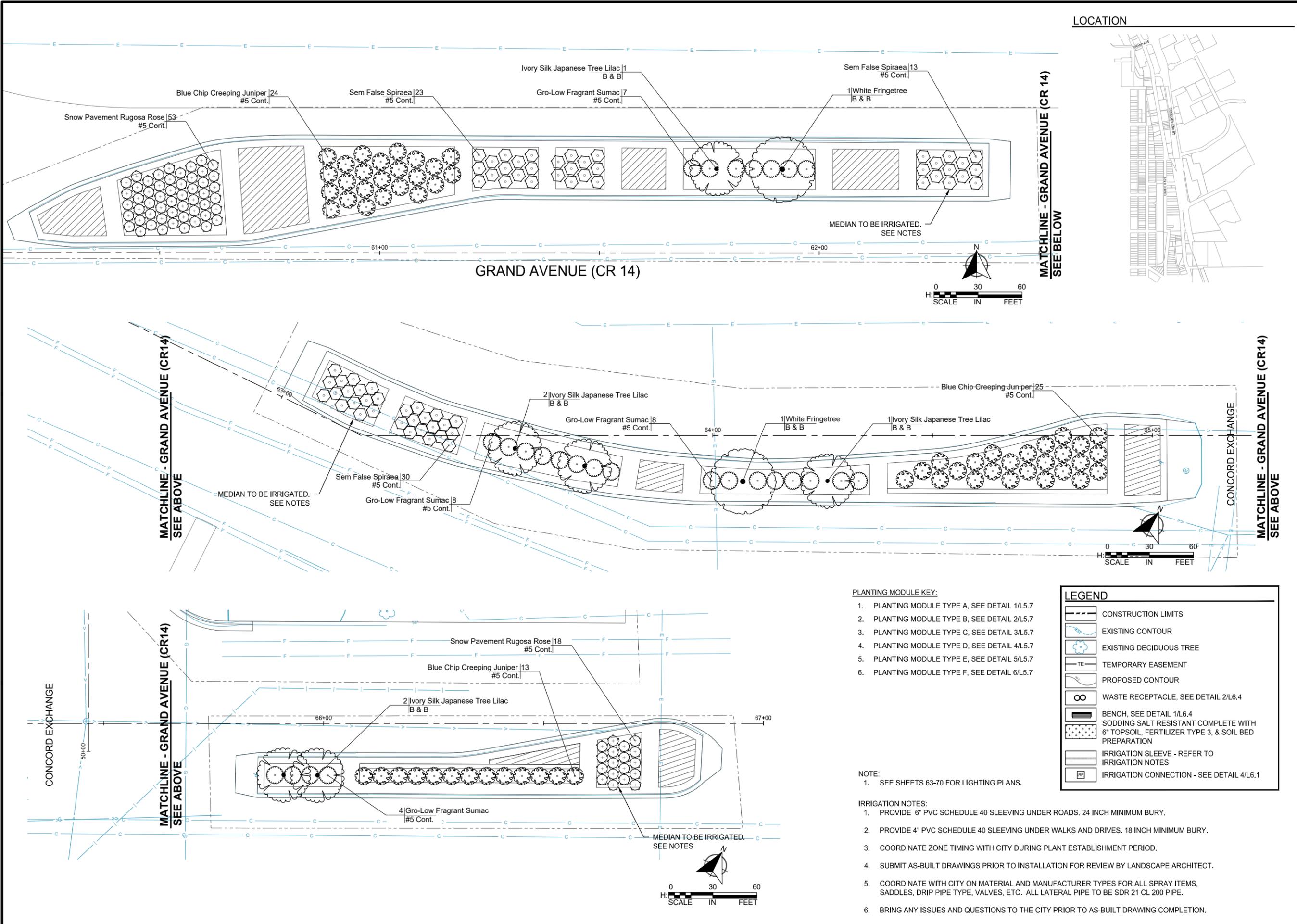
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*Jared C. Lee*  
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 LIC. NO.: 44389  
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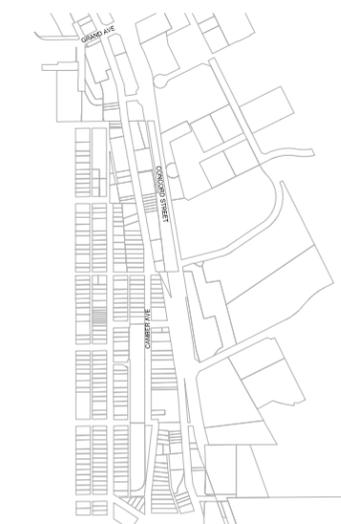
## CONCORD EXCHANGE LANDSCAPE PLAN

## CONCORD EXCHANGE IMPROVEMENTS SOUTH ST. PAUL, MINNESOTA

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LOCATION



NO.	DATE	DESCRIPTION

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

*Jared C. Lee*  
JARED C. LEE  
DATE: 02-05-2024 LIC. NO.: 44389

GRAND AVENUE  
MEDIAN  
LANDSCAPE  
PLAN

CONCORD EXCHANGE IMPROVEMENTS  
SOUTH ST. PAUL, MINNESOTA

- PLANTING MODULE KEY:**
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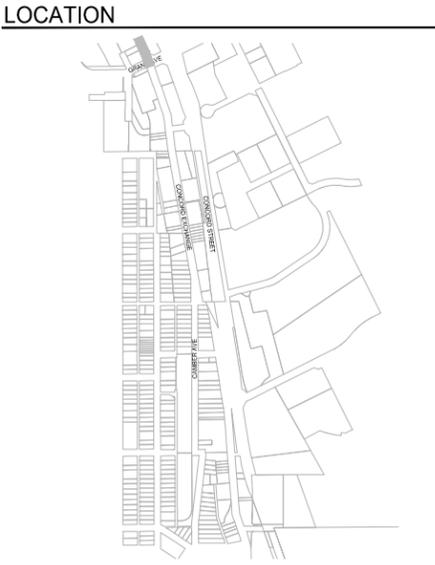
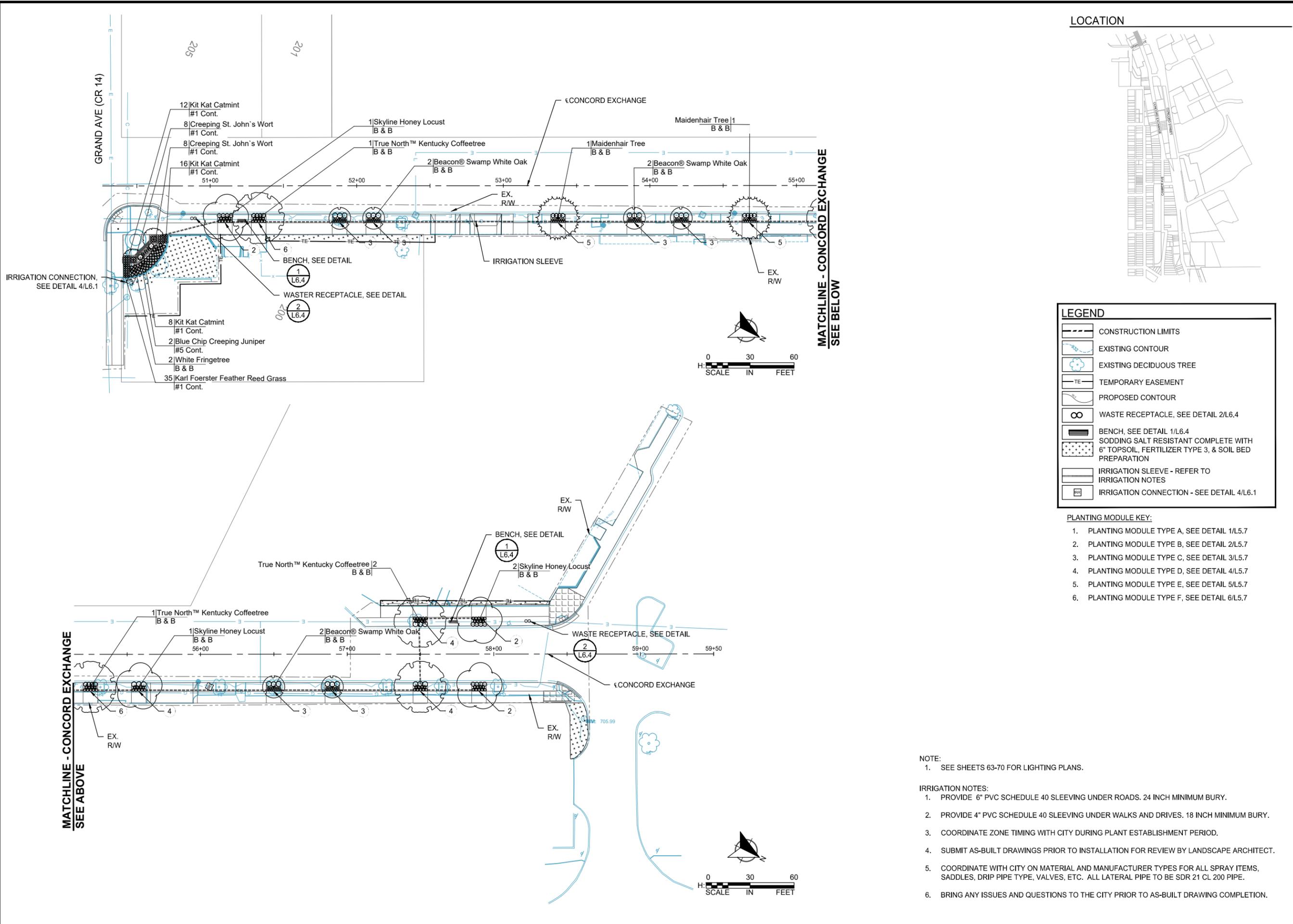
**LEGEND**

	CONSTRUCTION LIMITS
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	IRRIGATION SLEEVE - REFER TO IRRIGATION NOTES
	IRRIGATION CONNECTION - SEE DETAIL 4/L6.1

**NOTE:**  
1. SEE SHEETS 63-70 FOR LIGHTING PLANS.

- IRRIGATION NOTES:**
1. PROVIDE 6" PVC SCHEDULE 40 SLEEVING UNDER ROADS. 24 INCH MINIMUM BURY.
  2. PROVIDE 4" PVC SCHEDULE 40 SLEEVING UNDER WALKS AND DRIVES. 18 INCH MINIMUM BURY.
  3. COORDINATE ZONE TIMING WITH CITY DURING PLANT ESTABLISHMENT PERIOD.
  4. SUBMIT AS-BUILT DRAWINGS PRIOR TO INSTALLATION FOR REVIEW BY LANDSCAPE ARCHITECT.
  5. COORDINATE WITH CITY ON MATERIAL AND MANUFACTURER TYPES FOR ALL SPRAY ITEMS, SADDLES, DRIP PIPE TYPE, VALVES, ETC. ALL LATERAL PIPE TO BE SDR 21 CL 200 PIPE.
  6. BRING ANY ISSUES AND QUESTIONS TO THE CITY PRIOR TO AS-BUILT DRAWING COMPLETION.

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**LEGEND**

- CONSTRUCTION LIMITS
- EXISTING CONTOUR
- EXISTING DECIDUOUS TREE
- TEMPORARY EASEMENT
- PROPOSED CONTOUR
- WASTE RECEPTACLE, SEE DETAIL 2/L6.4
- BENCH, SEE DETAIL 1/L6.4
- SODDING SALT RESISTANT COMPLETE WITH 6" TOPSOIL, FERTILIZER TYPE 3, & SOIL BED PREPARATION
- IRRIGATION SLEEVE - REFER TO IRRIGATION NOTES
- IRRIGATION CONNECTION - SEE DETAIL 4/L6.1

**PLANTING MODULE KEY:**

1. PLANTING MODULE TYPE A, SEE DETAIL 1/L5.7
2. PLANTING MODULE TYPE B, SEE DETAIL 2/L5.7
3. PLANTING MODULE TYPE C, SEE DETAIL 3/L5.7
4. PLANTING MODULE TYPE D, SEE DETAIL 4/L5.7
5. PLANTING MODULE TYPE E, SEE DETAIL 5/L5.7
6. PLANTING MODULE TYPE F, SEE DETAIL 6/L5.7

**NOTE:**

1. SEE SHEETS 63-70 FOR LIGHTING PLANS.

**IRRIGATION NOTES:**

1. PROVIDE 6" PVC SCHEDULE 40 SLEEVING UNDER ROADS. 24 INCH MINIMUM BURY.
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6. BRING ANY ISSUES AND QUESTIONS TO THE CITY PRIOR TO AS-BUILT DRAWING COMPLETION.

**wsb**

SCALE: AS SHOWN  
 PLAN BY: PL  
 DESIGN BY: PL  
 CHECK BY: JL

NO.	DATE	DESCRIPTION

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

*Jared C. Lee*  
 JARED C. LEE  
 LIC. NO.: 44389  
 DATE: 02-05-2024

**CONCORD EXCHANGE LANDSCAPE PLAN**

**CONCORD EXCHANGE IMPROVEMENTS  
 SOUTH ST. PAUL, MINNESOTA**

NO.	DATE	DESCRIPTION

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

  
 JARED C. LEE  
 LIC. NO.: 44369  
 DATE: 02-05-2024

**PLANT SCHEDULE SOUTH CONCORD**

SYMBOL	QTY	BOTANICAL / COMMON NAME	CONT	CAL
<u>DECIDUOUS TREES</u>				
	12	GINKGO BILOBA / MAIDENHAIR TREE	B & B	1.5" CAL
	13	GLEDITSIA TRIACANTHOS INERMIS 'SKYLINE' / SKYLINE HONEY LOCUST	B & B	2" CAL
	12	GYMNOCLADUS DIOICA 'UMNSYNERGY' / TRUE NORTH™ KENTUCKY COFFEETREE	B & B	2" CAL
	11	QUERCUS BICOLOR 'BONNIE AND MIKE' / BEACON® SWAMP WHITE OAK	B & B	2" CAL
<u>ORNAMENTAL TREES</u>				
	5	CHIONANTHUS VIRGINICUS / WHITE FRINGETREE	B & B	1.5" CAL
	11	SYRINGA RETICULATA 'IVORY SILK' / IVORY SILK JAPANESE TREE LILAC	B & B	6' HT.
<u>SHRUBS</u>				
	87	CALLICARPA AMERICANA / AMERICAN BEAUTYBERRY	#5 CONT.	
	92	SPIRAEA JAPONICA 'GOLDMOUND' / GOLDMOUND JAPANESE SPIREA	#5 CONT.	
	140	SYMPHORICARPOS ALBUS / COMMON WHITE SNOWBERRY	#5 CONT.	
<u>PERENNIALS</u>				
	260	HYPERICUM CALY CINUM / CREEPING ST. JOHN'S WORT	#1 CONT.	
	221	NEPETA X FAASSENII 'KIT KAT' / KIT KAT CATMINT	#1 CONT.	
	216	SEDUM X 'AUTUMN FIRE' / AUTUMN FIRE SEDUM	#1 CONT.	
	234	SPOROBOLUS HETEROLEPIS / PRAIRIE DROPSEED	#1 CONT.	

**PLANT SCHEDULE GRAND AVE TO NORTH CONCORD**

SYMBOL	QTY	BOTANICAL / COMMON NAME	CONT	CAL
<u>DECIDUOUS TREES</u>				
	2	GINKGO BILOBA / MAIDENHAIR TREE	B & B	1.5" CAL
	4	GLEDITSIA TRIACANTHOS INERMIS 'SKYLINE' / SKYLINE HONEY LOCUST	B & B	2" CAL
	4	GYMNOCLADUS DIOICA 'UMNSYNERGY' / TRUE NORTH™ KENTUCKY COFFEETREE	B & B	2" CAL
	6	QUERCUS BICOLOR 'BONNIE AND MIKE' / BEACON® SWAMP WHITE OAK	B & B	2" CAL
<u>ORNAMENTAL TREES</u>				
	4	CHIONANTHUS VIRGINICUS / WHITE FRINGETREE	B & B	1.5" CAL
	6	SYRINGA RETICULATA 'IVORY SILK' / IVORY SILK JAPANESE TREE LILAC	B & B	6' HT.
<u>SHRUBS</u>				
	27	CALLICARPA AMERICANA / AMERICAN BEAUTYBERRY	#5 CONT.	
	64	JUNIPERUS HORIZONTALIS 'BLUE CHIP' / BLUE CHIP CREEPING JUNIPER	#5 CONT.	
	27	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	#5 CONT.	
	71	ROSA RUGOSA 'SCHNEEKOPPE' / SNOW PAVEMENT RUGOSA ROSE	#5 CONT.	
	66	SORBARIA SORBIFOLIA 'SEM' / SEM FALSE SPIRAEA	#5 CONT.	
	16	SPIRAEA JAPONICA 'GOLDMOUND' / GOLDMOUND JAPANESE SPIREA	#5 CONT.	
	12	SYMPHORICARPOS ALBUS / COMMON WHITE SNOWBERRY	#5 CONT.	
<u>PERENNIALS</u>				
	35	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / KARL FOERSTER FEATHER REED GRASS	#1 CONT.	
	94	HYPERICUM CALY CINUM / CREEPING ST. JOHN'S WORT	#1 CONT.	
	80	NEPETA X FAASSENII 'KIT KAT' / KIT KAT CATMINT	#1 CONT.	
	72	SPOROBOLUS HETEROLEPIS / PRAIRIE DROPSEED	#1 CONT.	

**PLANTING SCHEDULE**

**CONCORD EXCHANGE IMPROVEMENTS  
 SOUTH ST. PAUL, MINNESOTA**

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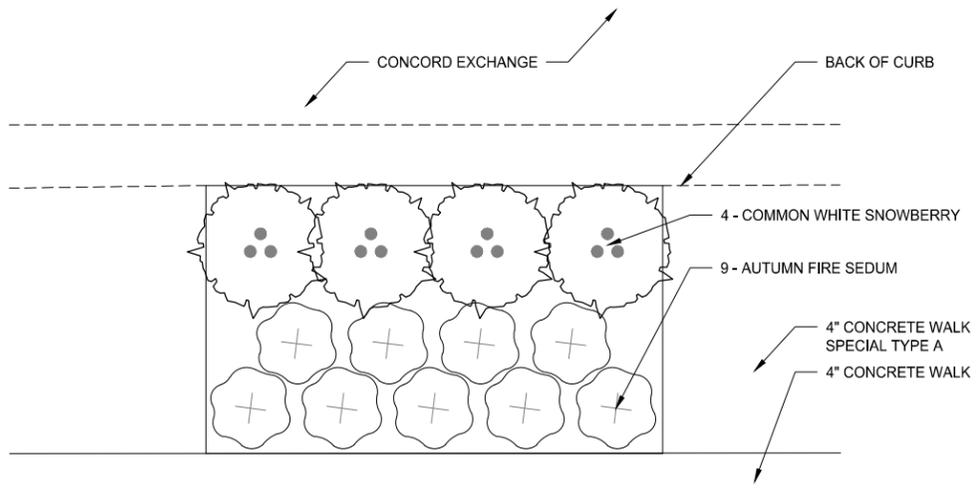
NO.	DATE	DESCRIPTION

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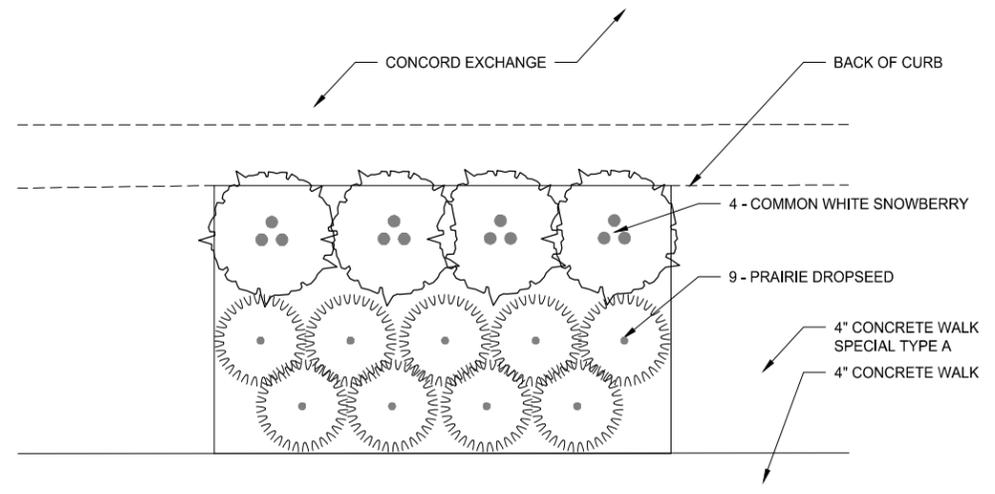
*Jared C. Lee*  
 JARED C. LEE  
 DATE: 02-05-2024 LIC. NO.: 44369

PLANTING  
MODULE  
DETAILS

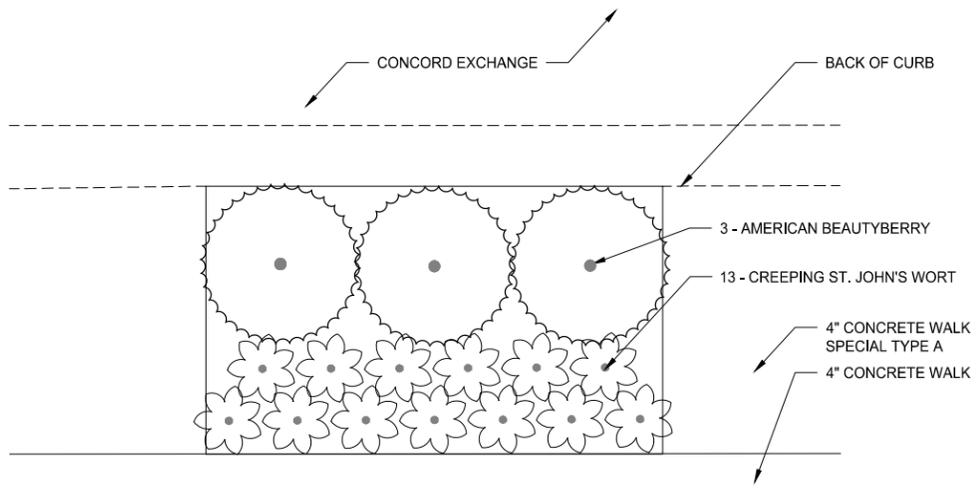
CONCORD EXCHANGE IMPROVEMENTS  
SOUTH ST. PAUL, MINNESOTA



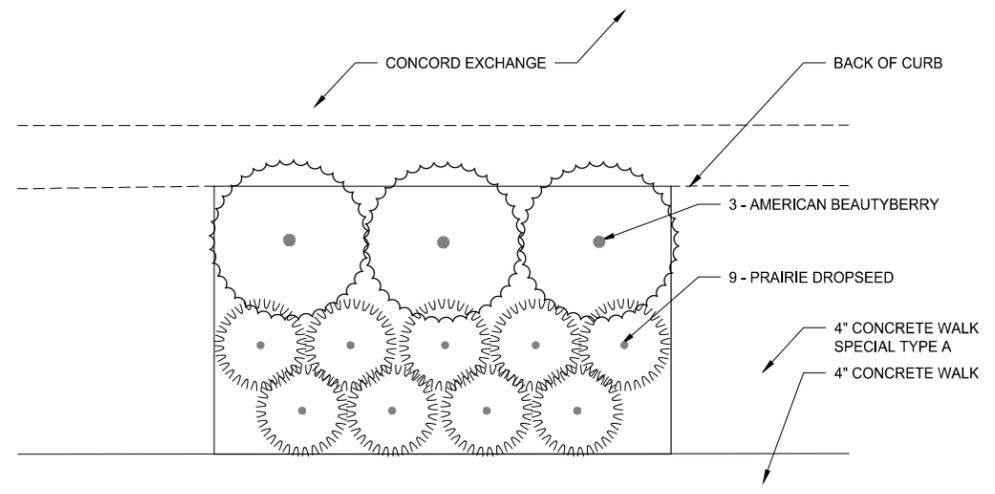
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 L5.7



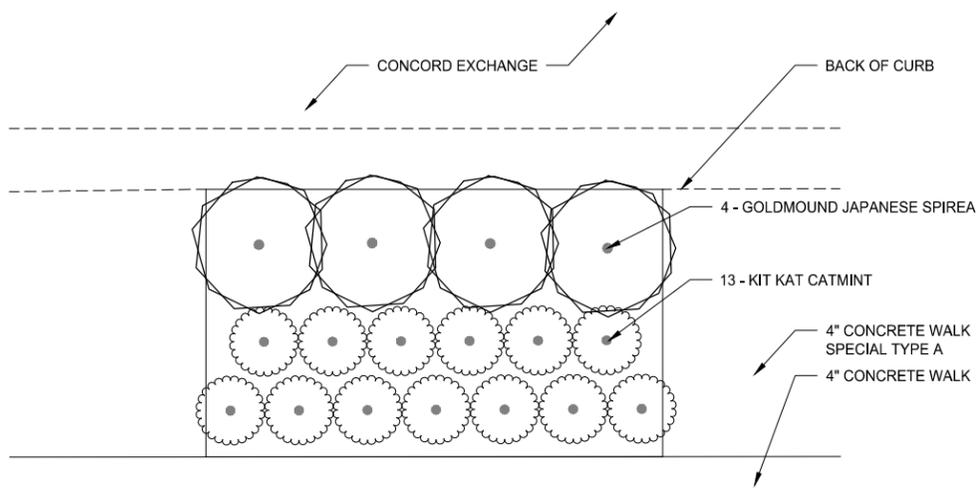
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 L5.7



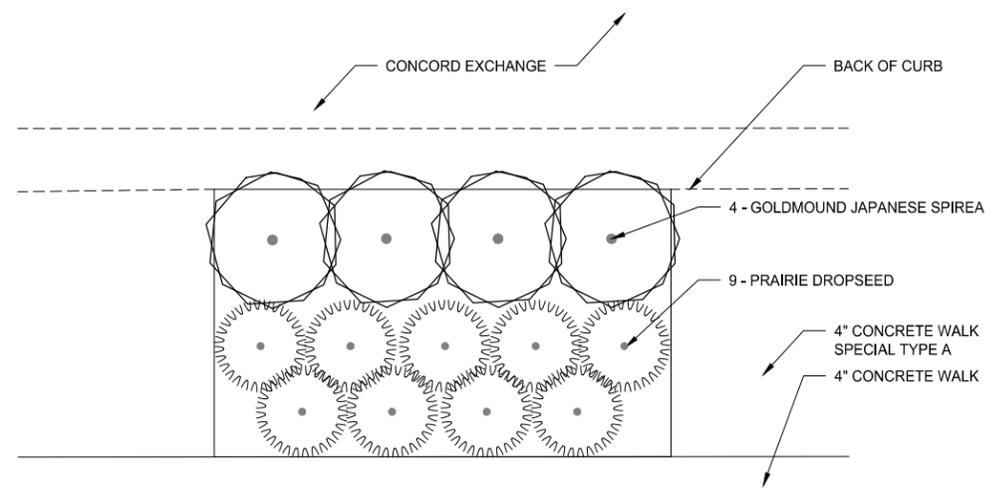
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4 PLANTING MODULE TYPE D  
 L5.7



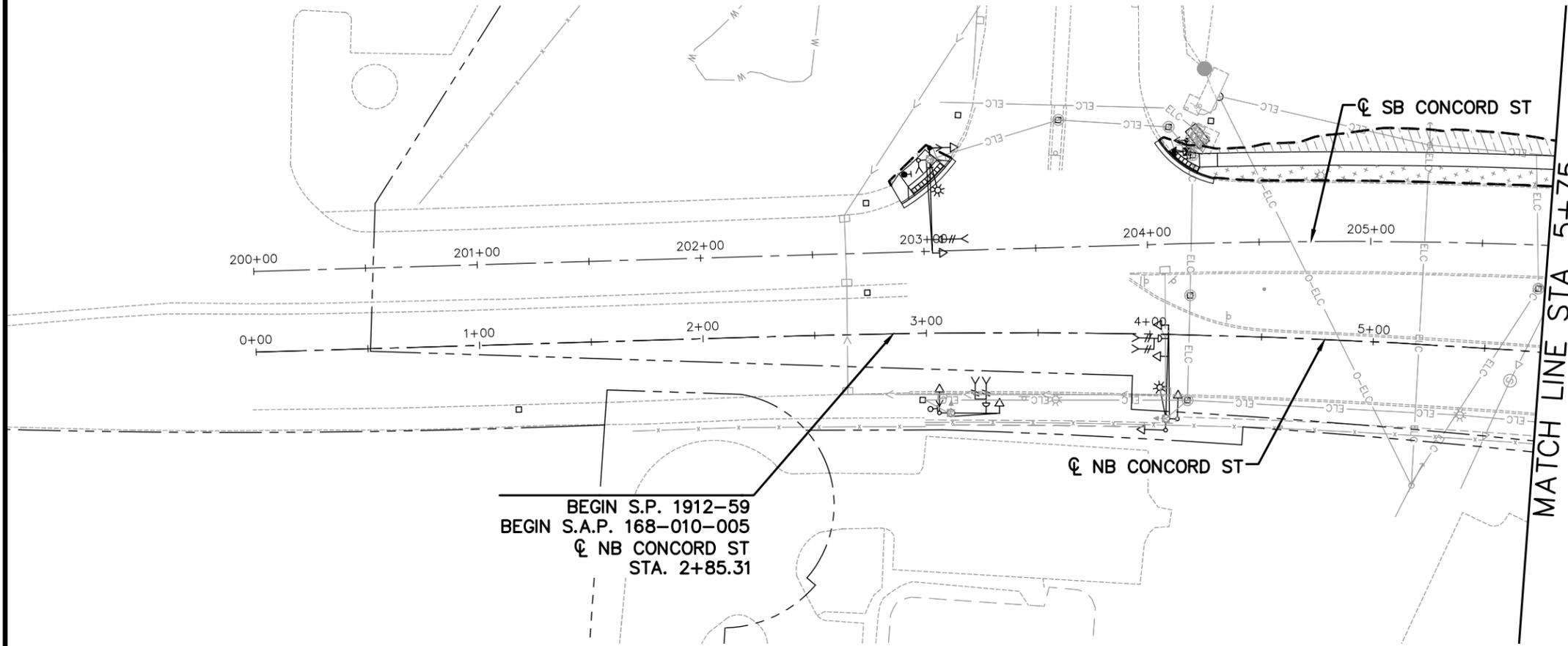
5 PLANTING MODULE TYPE E  
 L5.7



6 PLANTING MODULE TYPE F  
 L5.7

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Exhibit D



BEGIN S.P. 1912-59  
 BEGIN S.A.P. 168-010-005  
 NB CONCORD ST  
 STA. 2+85.31

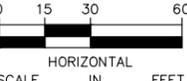
**LEGEND**

- 6" COMMON TOPSOIL  
SODDING TYPE SALT RESISTANT  
FERTILIZER TYPE 3  
SOIL BED PREPARATION
- 6" COMMON TOPSOIL  
SEED MIXTURE 25-141 @ 59 LBS/ACRE  
FERTILIZER TYPE 3  
HYDRAULIC MULCH MATRIX  
SOIL BED PREPARATION
- 6" COMMON TOPSOIL  
SEED MIXTURE 25-141 @ 59 LBS/ACRE  
FERTILIZER TYPE 3  
EROSION CONTROL BLANKET CATEGORY OS  
SOIL BED PREPARATION
- 6" COMMON TOPSOIL  
SEED MIXTURE SPECIAL @ 225 LBS/ACRE  
MULCH TYPE 1 @ 2 TONS/ACRE (DISK ANCHORING)  
SOIL BED PREPARATION
- 4" CONCRETE WALK SPECIAL -  
SEE DETAIL 2 ON SHEET 61
- 4" CONCRETE WALK SPECIAL 1 -  
SEE DETAIL 3 ON SHEET 61
- 4" CONCRETE WALK  
SEE DETAIL 1 ON SHEET 61

- CONSTRUCTION LIMITS
- BENCH - TYPE A  
SEE DETAIL SHEET 65
- BENCH - TYPE B  
SEE DETAIL SHEET 65
- WASTE RECEPTACLE AND RECYCLING UNIT  
SEE DETAIL SHEET 65
- STREET LIGHTING  
SEE SHEETS 334-354

**GENERAL NOTES**

1. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING ALL PROPERTY OWNERS A MINIMUM OF 48 HOURS PRIOR TO THE EXPIRATION DATE OF THE 30 DAY MAINTENANCE PERIOD FOR SOD AND 45 DAY MAINTENANCE PERIOD FOR SEEDING.
2. THE MAINTENANCE PERIOD FOR SOD AND SEEDING SHALL NOT BEGIN UNTIL THE PLACEMENT OF SOD AND SEED HAS BEEN PERFORMED IN AN ACCEPTABLE MANNER TO THE CITY OF SOUTH ST PAUL AND HAS BEEN APPROVED. THE CONTRACTOR SHALL NOT RECEIVE COMPENSATION FOR REPLACEMENT OR REPAIR OF SOD OR SEEDING THAT IS NOT PLACED IN AN ACCEPTABLE MANNER TO THE CITY.
3. TREES ON THE OUTSIDE OF THE WALK TO BE PLACED MIN. 5' FROM EDGE OF WALK.
4. PROTECT BOULEVARD SOILS FROM COMPACTION DUE TO CONSTRUCTION ACTIVITIES. IMPACTED SOILS TO BE CORRECTED TO THE SATISFACTION OF THE CITY PRIOR TO FINAL GRADING. ALL PROTECTIVE MEASURES, MONITORING, AND SOIL COMPACTION CORRECTIONS ARE INCIDENTAL TO WORK.
5. CONFIRM PLANTING SOIL QUANTITY AND TYPE PRIOR TO PLANTING TREES, SHRUBS, AND PERENNIALS.
6. SEE SHEETS 56-66 FOR LANDSCAPE AND STREETScape DETAILS.



No.	Date	Revisions	App.

**Kimley»Horn**  
 767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114  
 PHONE: 651-645-4197  
 WWW.KIMLEY-HORN.COM

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*Thomas R. Harrington*  
 THOMAS R. HARRINGTON, PLA  
 DATE: 2/12/2021 MN LIC. NO. 20349

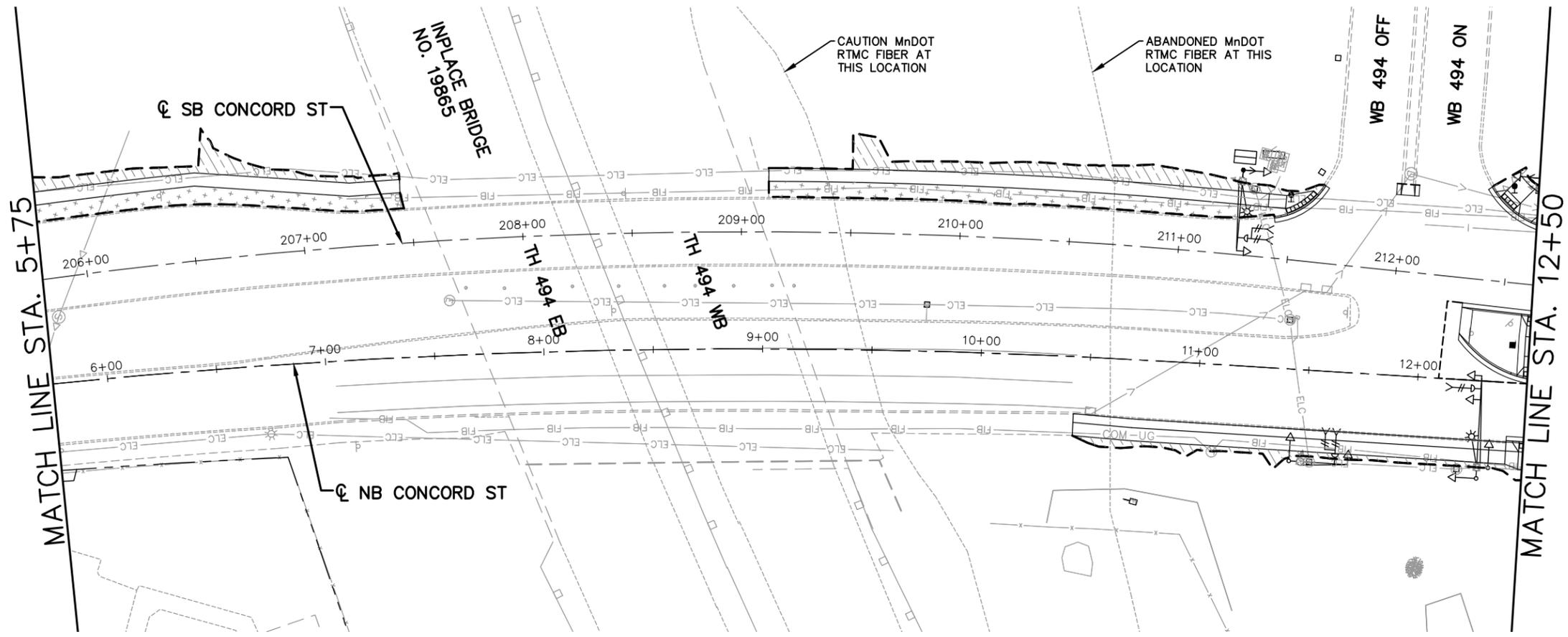


CITY OF SOUTH ST. PAUL  
 CONCORD STREET (TH 156)  
 IMPROVEMENTS  
 TH 494 TO ANNAPOLIS ST  
 CONCORD ST  
 TURF ESTABLISHMENT AND  
 STREETScape PLAN  
 STA. 0+00 TO STA. 5+75

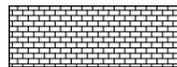
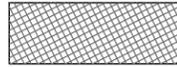
CITY PROJECT	2016-11
S.P.	1912-59 (TH 156)
S.P.	168-010-004
S.A.P.	168-010-005

SHEET NO.  
**518**  
**700**

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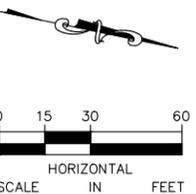
**LEGEND**

-  6" COMMON TOPSOIL  
SODDING TYPE SALT RESISTANT  
FERTILIZER TYPE 3  
SOIL BED PREPARATION
-  6" COMMON TOPSOIL  
SEED MIXTURE 25-141 @ 59 LBS/ACRE  
FERTILIZER TYPE 3  
HYDRAULIC MULCH MATRIX  
SOIL BED PREPARATION
-  6" COMMON TOPSOIL  
SEED MIXTURE 25-141 @ 59 LBS/ACRE  
FERTILIZER TYPE 3  
EROSION CONTROL BLANKET CATEGORY OS  
SOIL BED PREPARATION
-  6" COMMON TOPSOIL  
SEED MIXTURE SPECIAL @ 225 LBS/ACRE  
MULCH TYPE 1 @ 2 TONS/ACRE (DISK ANCHORING)  
SOIL BED PREPARATION
-  4" CONCRETE WALK SPECIAL -  
SEE DETAIL 2 ON SHEET 61
-  4" CONCRETE WALK SPECIAL 1 -  
SEE DETAIL 3 ON SHEET 61
-  4" CONCRETE WALK  
SEE DETAIL 1 ON SHEET 61

-  CONSTRUCTION LIMITS
-  BENCH - TYPE A  
SEE DETAIL SHEET 65
-  BENCH - TYPE B  
SEE DETAIL SHEET 65
-  WASTE RECEPTACLE AND RECYCLING UNIT  
SEE DETAIL SHEET 65
-  STREET LIGHTING  
SEE SHEETS 334-354

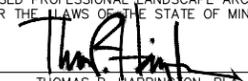
**GENERAL NOTES**

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6. SEE SHEETS 56-66 FOR LANDSCAPE AND STREETScape DETAILS.



No.	Date	Revisions	App.
			DESIGNED BY: KML
			DRAWN BY: KML
			CHECKED BY: TRH
			PROJECT NO. 160574012

**Kimley»Horn**  
 767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114  
 PHONE: 651-645-4197  
 WWW.KIMLEY-HORN.COM

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 THOMAS R. HARRINGTON, PLA  
 DATE: 2/12/2021 MN LIC. NO. 20349

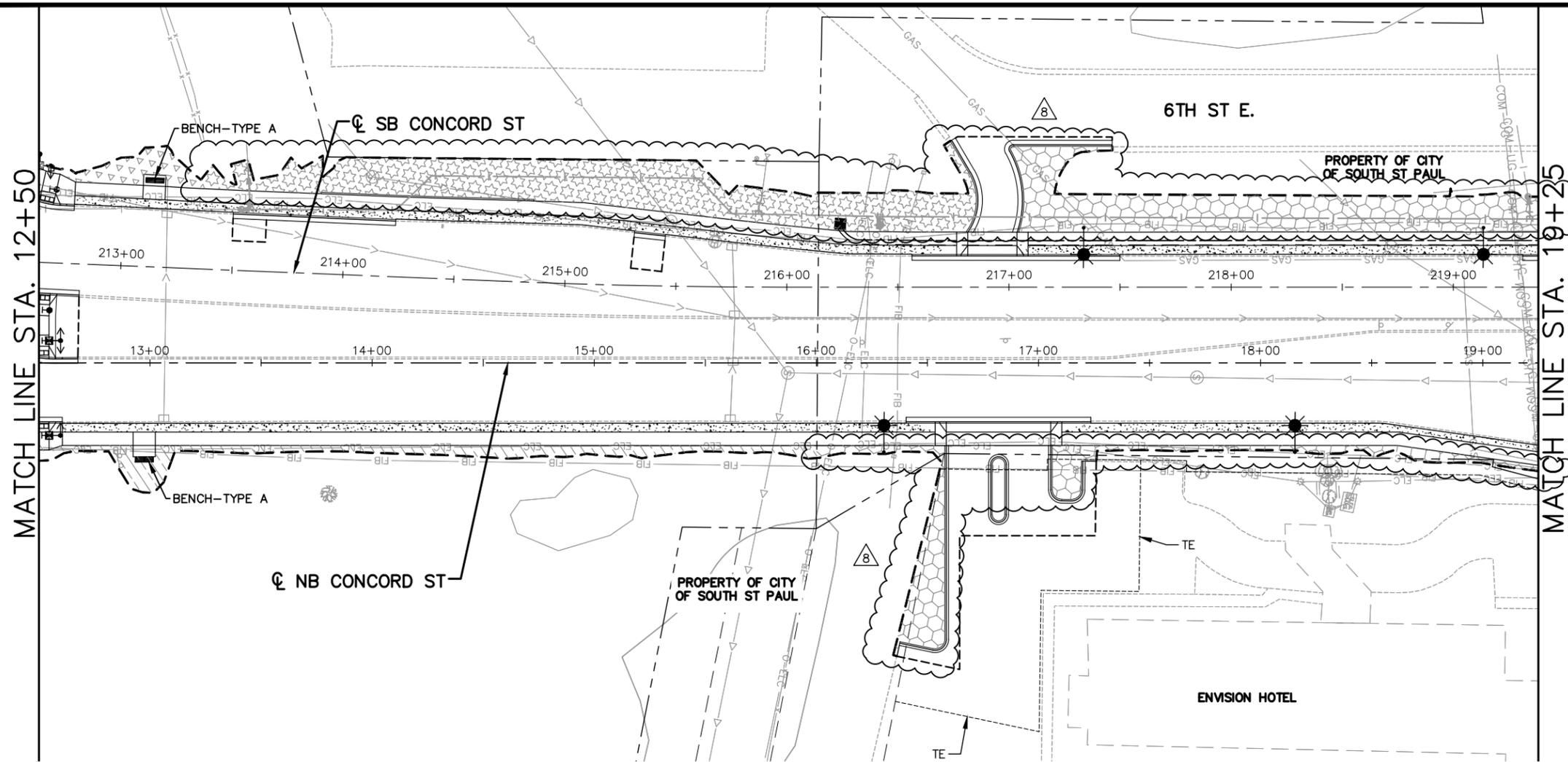


CITY OF SOUTH ST. PAUL  
 CONCORD STREET (TH 156)  
 IMPROVEMENTS  
 TH 494 TO ANNAPOLIS ST  
 CONCORD ST  
 TURF ESTABLISHMENT AND  
 STREETScape PLAN  
 STA. 5+75 TO STA. 12+50

CITY PROJECT	2016-11
S.P.	1912-59 (TH 156)
S.P.	168-010-004
S.A.P.	168-010-005

SHEET NO.  
**519**  
**700**

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**LEGEND**

- 6" COMMON TOPSOIL  
SEED MIXTURE 25-141 @ 59 LBS/ACRE  
FERTILIZER TYPE 3  
HYDRAULIC MULCH MATRIX  
SOIL BED PREPARATION
- 6" COMMON TOPSOIL  
SEED MIXTURE 25-141 @ 59 LBS/ACRE  
FERTILIZER TYPE 3  
EROSION CONTROL BLANKET CATEGORY OS  
SOIL BED PREPARATION
- 6" COMMON TOPSOIL  
SEED MIXTURE SPECIAL @ 225 LBS/ACRE  
MULCH TYPE 1 @ 2 TONS/ACRE (DISK ANCHORING)  
SOIL BED PREPARATION
- 4" CONCRETE WALK SPECIAL -  
SEE DETAIL 2 ON SHEET 61
- 4" CONCRETE WALK SPECIAL 1 -  
SEE DETAIL 3 ON SHEET 61
- 4" CONCRETE WALK  
SEE DETAIL 1 ON SHEET 61

- 6" COMMON TOPSOIL  
SEED MIXTURE 25-131 @ 220 LBS/ACRE  
FERTILIZER TYPE 3  
HYDRAULIC MULCH MATRIX  
SOIL BED PREPARATION
- 6" COMMON TOPSOIL  
SEED MIXTURE 25-131 @ 220 LBS/ACRE  
FERTILIZER TYPE 3  
EROSION CONTROL BLANKET CATEGORY OS  
SOIL BED PREPARATION

--- CONSTRUCTION LIMITS

— BENCH - TYPE A  
SEE DETAIL SHEET 65

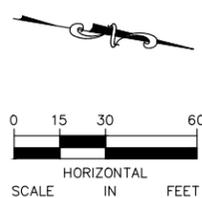
— BENCH - TYPE B  
SEE DETAIL SHEET 65

• WASTE RECEPTACLE AND RECYCLING UNIT  
SEE DETAIL SHEET 65

☼ STREET LIGHTING  
SEE SHEETS 334-354

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6. SEE SHEETS 56-66 FOR LANDSCAPE AND STREETScape DETAILS.



No.	Date	Revisions	App.	DESIGNED BY:	KML
8	10/6/21	SEED MIXTURE MODIFICATIONS	MFH	DRAWN BY:	KML
				CHECKED BY:	TRH
				PROJECT NO.	160574012

**Kimley»Horn**  
767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114  
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*Thomas R. Harrington, PLA*  
THOMAS R. HARRINGTON, PLA  
DATE: 2/12/2021 MN LIC. NO. 20349

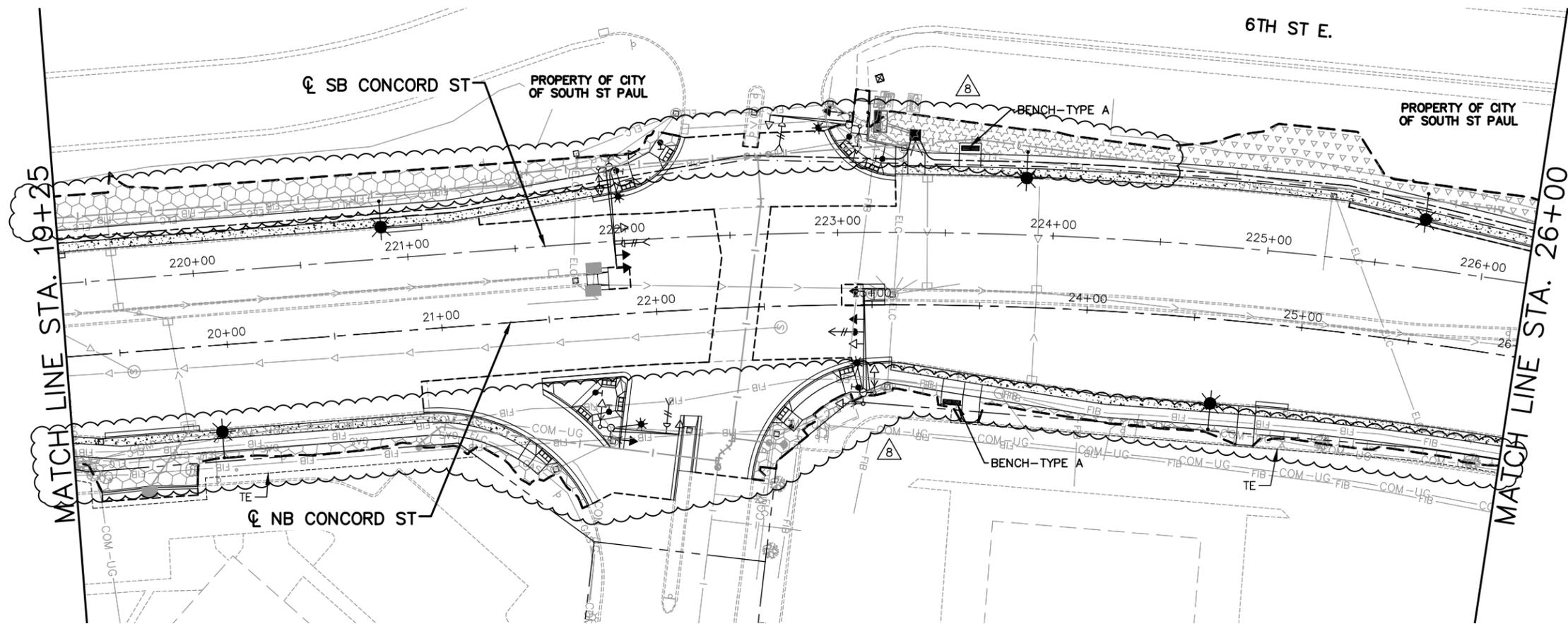


CITY OF SOUTH ST. PAUL  
CONCORD STREET (TH 156)  
IMPROVEMENTS  
TH 494 TO ANNAPOLIS ST  
CONCORD ST  
TURF ESTABLISHMENT AND  
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STA. 12+50 TO STA. 19+25

CITY PROJECT	2016-11
S.P.	1912-59 (TH 156)
S.P.	168-010-004
S.A.P.	168-010-005

SHEET NO.  
**520**  
**700**

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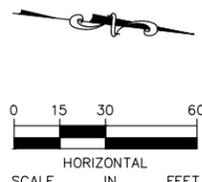


**LEGEND**

- 6" COMMON TOPSOIL  
SODDING TYPE SALT RESISTANT  
FERTILIZER TYPE 3  
HYDRAULIC MULCH MATRIX  
SOIL BED PREPARATION
- 6" COMMON TOPSOIL  
SEED MIXTURE 25-141 @ 59 LBS/ACRE  
FERTILIZER TYPE 3  
HYDRAULIC MULCH MATRIX  
SOIL BED PREPARATION
- 6" COMMON TOPSOIL  
SEED MIXTURE 25-141 @ 59 LBS/ACRE  
FERTILIZER TYPE 3  
EROSION CONTROL BLANKET CATEGORY OS  
SOIL BED PREPARATION
- 6" COMMON TOPSOIL  
SEED MIXTURE SPECIAL @ 225 LBS/ACRE  
MULCH TYPE 1 @ 2 TONS/ACRE (DISK ANCHORING)  
SOIL BED PREPARATION
- 4" CONCRETE WALK SPECIAL -  
SEE DETAIL 2 ON SHEET 61
- 4" CONCRETE WALK SPECIAL 1 -  
SEE DETAIL 3 ON SHEET 61
- 4" CONCRETE WALK  
SEE DETAIL 1 ON SHEET 61
- 6" COMMON TOPSOIL  
SEED MIXTURE 25-131 @ 220 LBS/ACRE  
FERTILIZER TYPE 3  
HYDRAULIC MULCH MATRIX  
SOIL BED PREPARATION
- 6" COMMON TOPSOIL  
SEED MIXTURE 25-131 @ 220 LBS/ACRE  
FERTILIZER TYPE 3  
EROSION CONTROL BLANKET CATEGORY OS  
SOIL BED PREPARATION
- - - - - CONSTRUCTION LIMITS
- BENCH - TYPE A  
SEE DETAIL SHEET 65
- BENCH - TYPE B  
SEE DETAIL SHEET 65
- WASTE RECEPTACLE AND RECYCLING UNIT  
SEE DETAIL SHEET 65
- STREET LIGHTING  
SEE SHEETS 334-354

**GENERAL NOTES**

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5. CONFIRM PLANTING SOIL QUANTITY AND TYPE PRIOR TO PLANTING TREES, SHRUBS, AND PERENNIALS.
6. SEE SHEETS 56-66 FOR LANDSCAPE AND STREETScape DETAILS.



No.	Date	Revisions	App.
8	10/6/21	SEED MIXTURE MODIFICATIONS	MFH

DESIGNED BY:	KML
DRAWN BY:	KML
CHECKED BY:	TRH
PROJECT NO.	160574012

**Kimley»Horn**  
 767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114  
 PHONE: 651-645-4197  
 WWW.KIMLEY-HORN.COM

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*Thomas R. Harrington*  
 THOMAS R. HARRINGTON, PLA  
 DATE: 2/12/2021 MN LIC. NO. 20349

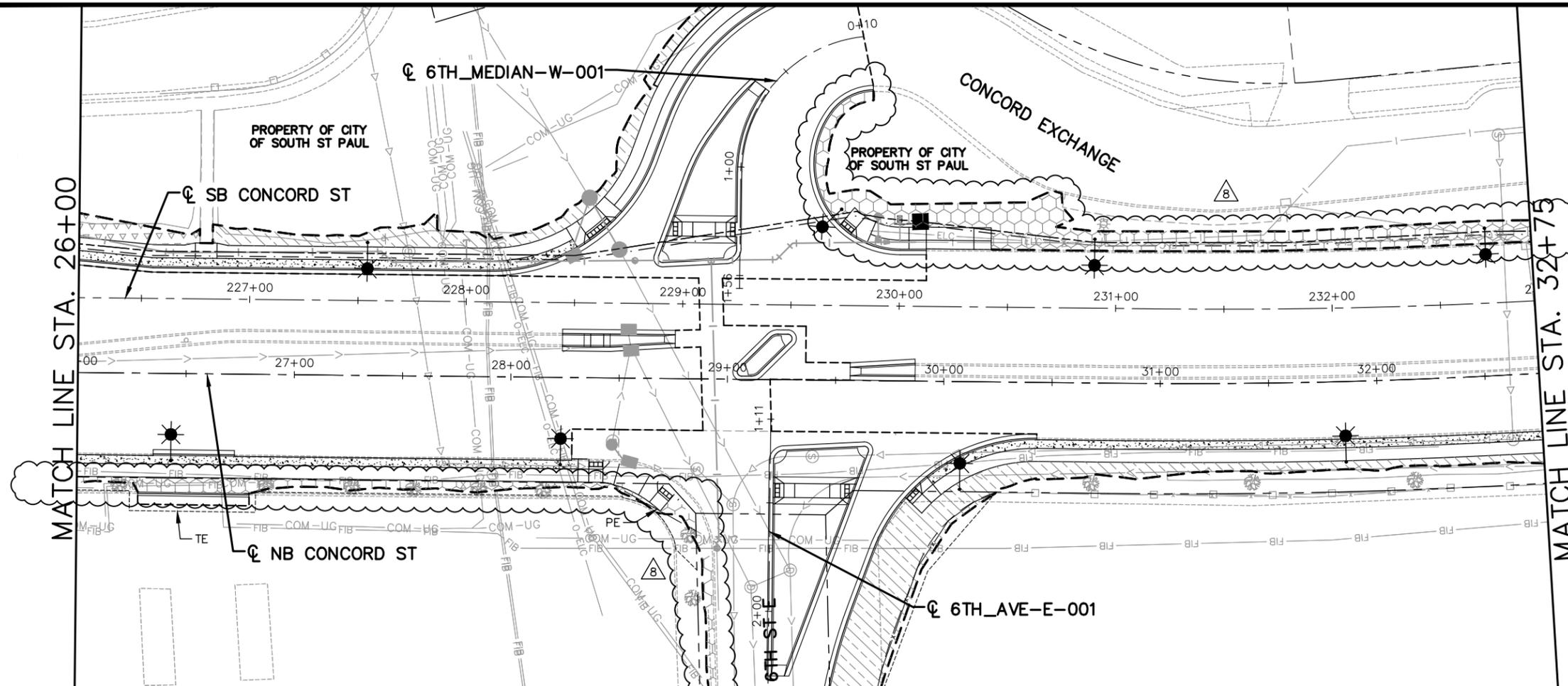


CITY OF SOUTH ST. PAUL  
 CONCORD STREET (TH 156)  
 IMPROVEMENTS  
 TH 494 TO ANNAPOLIS ST  
 CONCORD ST  
 TURF ESTABLISHMENT AND  
 STREETScape PLAN  
 STA. 19+25 TO STA. 26+00

CITY PROJECT	2016-11
S.P.	1912-59 (TH 156)
S.P.	168-010-004
S.A.P.	168-010-005

SHEET NO.  
**521**  
**700**

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**LEGEND**

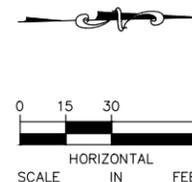
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SODDING TYPE SALT RESISTANT  
FERTILIZER TYPE 3  
SOIL BED PREPARATION
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FERTILIZER TYPE 3  
EROSION CONTROL BLANKET CATEGORY OS  
SOIL BED PREPARATION
- 6" COMMON TOPSOIL  
SEED MIXTURE SPECIAL @ 225 LBS/ACRE  
MULCH TYPE 1-@ 2 TONS/ACRE (DISK ANCHORING)  
SOIL BED PREPARATION
- 4" CONCRETE WALK SPECIAL -  
SEE DETAIL 2 ON SHEET 61
- 4" CONCRETE WALK SPECIAL 1 -  
SEE DETAIL 3 ON SHEET 61
- 4" CONCRETE WALK  
SEE DETAIL 1 ON SHEET 61

- 6" COMMON TOPSOIL  
SEED MIXTURE 25-131 @ 220 LBS/ACRE  
FERTILIZER TYPE 3  
HYDRAULIC MULCH MATRIX  
SOIL BED PREPARATION
- 6" COMMON TOPSOIL  
SEED MIXTURE 25-131 @ 220 LBS/ACRE  
FERTILIZER TYPE 3  
EROSION CONTROL BLANKET CATEGORY OS  
SOIL BED PREPARATION

- CONSTRUCTION LIMITS
- BENCH - TYPE A  
SEE DETAIL SHEET 65
- BENCH - TYPE B  
SEE DETAIL SHEET 65
- WASTE RECEPTACLE AND RECYCLING UNIT  
SEE DETAIL SHEET 65
- ☀ STREET LIGHTING  
SEE SHEETS 334-354

**GENERAL NOTES**

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6. SEE SHEETS 56-66 FOR LANDSCAPE AND STREETScape DETAILS.



No.	Date	Revisions	App.
8	10/6/21	SEED MIXTURE MODIFICATIONS	MFH

DESIGNED BY:	KML
DRAWN BY:	KML
CHECKED BY:	TRH
PROJECT NO.	160574012

**Kimley»Horn**  
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*Thomas R. Harrington*  
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 DATE: 2/12/2021 MN LIC. NO. 20349

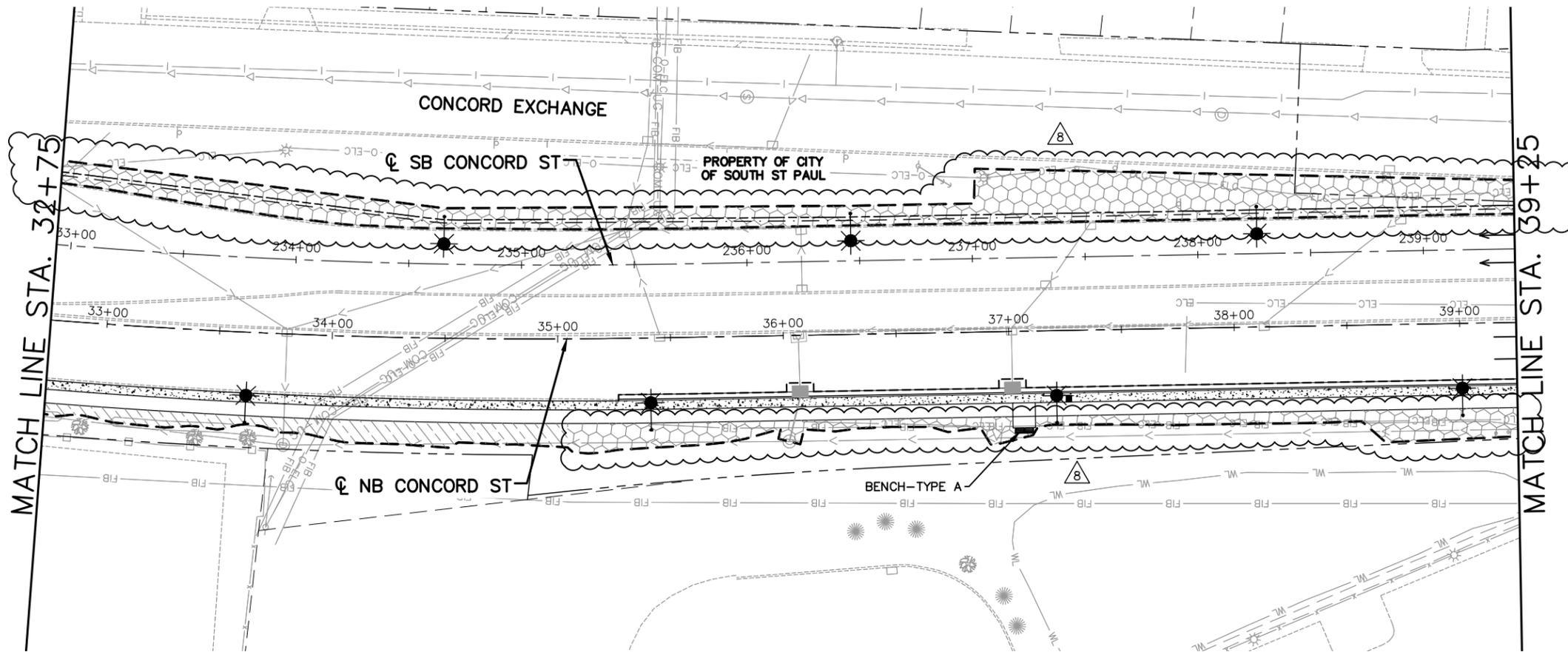


CITY OF SOUTH ST. PAUL  
 CONCORD STREET (TH 156)  
 IMPROVEMENTS  
 TH 494 TO ANNAPOLIS ST  
 CONCORD ST  
 TURF ESTABLISHMENT AND  
 STREETScape PLAN  
 STA. 26+00 TO STA. 32+75

CITY PROJECT	2016-11
S.P.	1912-59 (TH 156)
S.P.	168-010-004
S.A.P.	168-010-005

SHEET NO.  
**522**  
**700**

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**LEGEND**

- 6" COMMON TOPSOIL  
SEED MIXTURE 25-141 @ 59 LBS/ACRE  
FERTILIZER TYPE 3  
HYDRAULIC MULCH MATRIX  
SOIL BED PREPARATION
- 6" COMMON TOPSOIL  
SEED MIXTURE 25-141 @ 59 LBS/ACRE  
FERTILIZER TYPE 3  
EROSION CONTROL BLANKET CATEGORY OS  
SOIL BED PREPARATION
- 6" COMMON TOPSOIL  
SEED MIXTURE SPECIAL @ 225 LBS/ACRE  
MULCH TYPE 1 @ 2 TONS/ACRE (DISK ANCHORING)  
SOIL BED PREPARATION
- 4" CONCRETE WALK SPECIAL -  
SEE DETAIL 2 ON SHEET 61
- 4" CONCRETE WALK SPECIAL 1 -  
SEE DETAIL 3 ON SHEET 61
- 4" CONCRETE WALK  
SEE DETAIL 1 ON SHEET 61

- 6" COMMON TOPSOIL  
SEED MIXTURE 25-131 @ 220 LBS/ACRE  
FERTILIZER TYPE 3  
HYDRAULIC MULCH MATRIX  
SOIL BED PREPARATION
- 6" COMMON TOPSOIL  
SEED MIXTURE 25-131 @ 220 LBS/ACRE  
FERTILIZER TYPE 3  
EROSION CONTROL BLANKET CATEGORY OS  
SOIL BED PREPARATION

--- CONSTRUCTION LIMITS

— BENCH - TYPE A  
SEE DETAIL SHEET 65

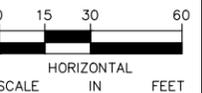
— BENCH - TYPE B  
SEE DETAIL SHEET 65

• WASTE RECEPTACLE AND RECYCLING UNIT  
SEE DETAIL SHEET 65

☼ STREET LIGHTING  
SEE SHEETS 334-354

**GENERAL NOTES**

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6. SEE SHEETS 56-66 FOR LANDSCAPE AND STREETScape DETAILS.



No.	Date	Revisions	App.	
8	10/6/21	SEED MIXTURE MODIFICATIONS	MFH	DESIGNED BY: KML DRAWN BY: KML CHECKED BY: TRH PROJECT NO. 160574012

**Kimley»Horn**  
767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114  
PHONE: 651-645-4197  
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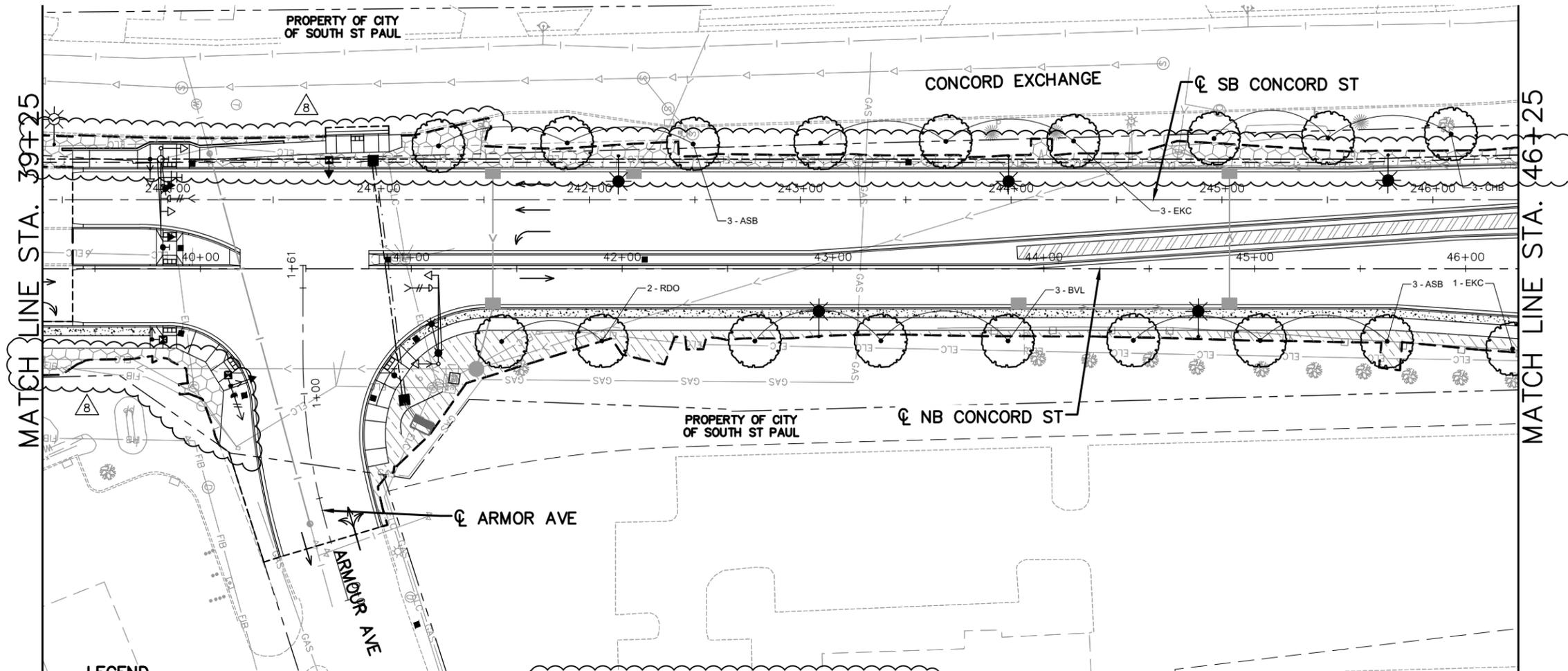


CITY OF SOUTH ST. PAUL  
CONCORD STREET (TH 156)  
IMPROVEMENTS  
TH 494 TO ANNAPOLIS ST  
CONCORD ST  
TURF ESTABLISHMENT AND  
STREETScape PLAN  
STA. 32+75 TO STA. 39+25

CITY PROJECT	2016-11
S.P.	1912-59 (TH 156)
S.P.	168-010-004
S.A.P.	168-010-005

SHEET NO.  
**523**  
**700**

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**LEGEND**

- 6" COMMON TOPSOIL  
SODDING TYPE SALT RESISTANT  
FERTILIZER TYPE 3  
SOIL BED PREPARATION
- 6" COMMON TOPSOIL  
SEED MIXTURE 25-141 @ 59 LBS/ACRE  
FERTILIZER TYPE 3  
HYDRAULIC MULCH MATRIX  
SOIL BED PREPARATION
- 6" COMMON TOPSOIL  
SEED MIXTURE 25-141 @ 59 LBS/ACRE  
FERTILIZER TYPE 3  
EROSION CONTROL BLANKET CATEGORY OS  
SOIL BED PREPARATION
- 6" COMMON TOPSOIL  
SEED MIXTURE SPECIAL @ 225 LBS/ACRE  
MULCH TYPE 1 @ 2 TONS/ACRE (DISK ANCHORING)  
SOIL BED PREPARATION
- 4" CONCRETE WALK SPECIAL -  
SEE DETAIL 2 ON SHEET 61
- 4" CONCRETE WALK SPECIAL 1 -  
SEE DETAIL 3 ON SHEET 61
- 4" CONCRETE WALK  
SEE DETAIL 1 ON SHEET 61

- 6" COMMON TOPSOIL  
SEED MIXTURE 25-131 @ 220 LBS/ACRE  
FERTILIZER TYPE 3  
HYDRAULIC MULCH MATRIX  
SOIL BED PREPARATION
- 6" COMMON TOPSOIL  
SEED MIXTURE 25-131 @ 220 LBS/ACRE  
FERTILIZER TYPE 3  
EROSION CONTROL BLANKET CATEGORY OS  
SOIL BED PREPARATION

--- CONSTRUCTION LIMITS

— BENCH - TYPE A  
SEE DETAIL SHEET 65

— BENCH - TYPE B  
SEE DETAIL SHEET 65

• WASTE RECEPTACLE AND RECYCLING UNIT  
SEE DETAIL SHEET 65

☼ STREET LIGHTING  
SEE SHEETS 334-354

**GENERAL NOTES**

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No.	Date	Revisions	App.	DESIGNED BY:	KML
8	10/6/21	SEED MIXTURE MODIFICATIONS	MFH	DRAWN BY:	KML
				CHECKED BY:	TRH
				PROJECT NO.	160574012

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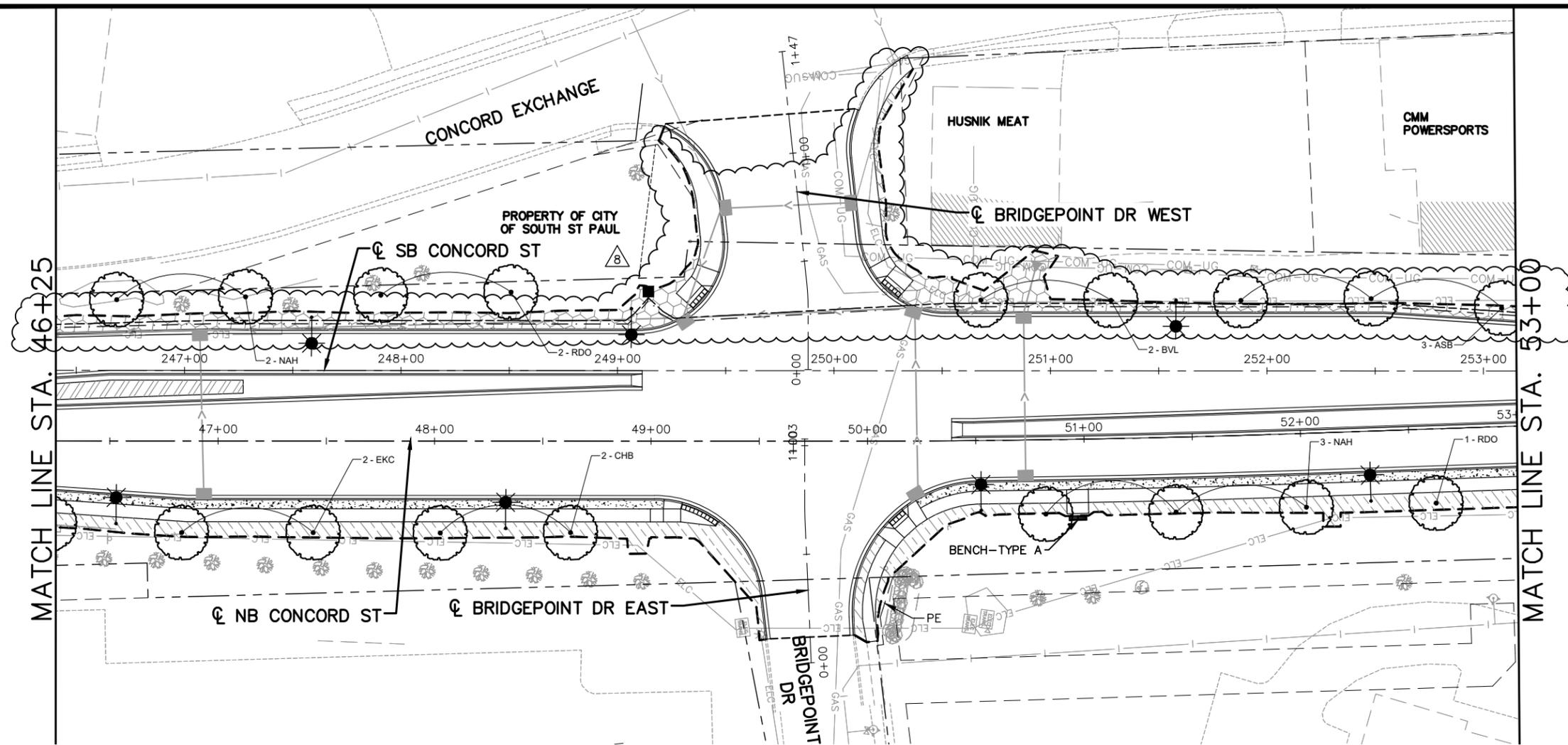


CITY OF SOUTH ST. PAUL  
 CONCORD STREET (TH 156)  
 IMPROVEMENTS  
 TH 494 TO ANNAPOLIS ST  
 CONCORD ST  
 TURF ESTABLISHMENT AND  
 STREETScape PLAN  
 STA. 39+25 TO STA. 46+25

CITY PROJECT	2016-11
S.P.	1912-59 (TH 156)
S.P.	168-010-004
S.A.P.	168-010-005

SHEET NO.  
**524**  
**700**

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**LEGEND**

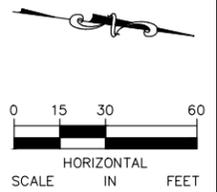
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SOIL BED PREPARATION
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SEE DETAIL 2 ON SHEET 61
- 4" CONCRETE WALK SPECIAL 1 -  
SEE DETAIL 3 ON SHEET 61
- 4" CONCRETE WALK  
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- 6" COMMON TOPSOIL  
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FERTILIZER TYPE 3  
EROSION CONTROL BLANKET CATEGORY OS  
SOIL BED PREPARATION

- CONSTRUCTION LIMITS
- BENCH - TYPE A  
SEE DETAIL SHEET 65
- BENCH - TYPE B  
SEE DETAIL SHEET 65
- WASTE RECEPTACLE AND RECYCLING UNIT  
SEE DETAIL SHEET 65
- ☀ STREET LIGHTING  
SEE SHEETS 334-354

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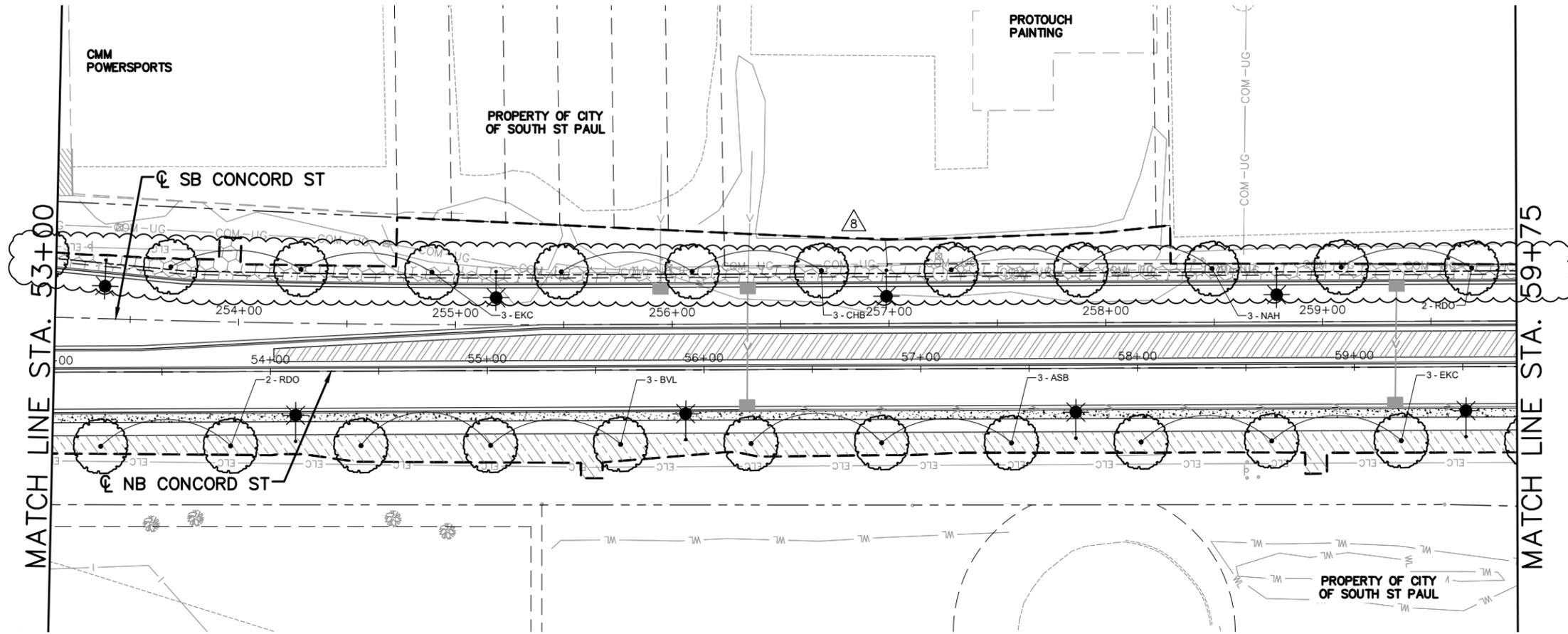


CITY OF SOUTH ST. PAUL  
 CONCORD STREET (TH 156)  
 IMPROVEMENTS  
 TH 494 TO ANNAPOLIS ST  
 CONCORD ST  
 TURF ESTABLISHMENT AND  
 STREETSCAPE PLAN  
 STA. 46+25 TO STA. 53+00

CITY PROJECT	2016-11
S.P.	1912-59 (TH 156)
S.P.	168-010-004
S.A.P.	168-010-005

SHEET NO.  
**525**  
**700**

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**LEGEND**

- 6" COMMON TOPSOIL  
SODDING TYPE SALT RESISTANT  
FERTILIZER TYPE 3  
SOIL BED PREPARATION
- 6" COMMON TOPSOIL  
SEED MIXTURE 25-141 @ 59 LBS/ACRE  
FERTILIZER TYPE 3  
HYDRAULIC MULCH MATRIX  
SOIL BED PREPARATION
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SEE DETAIL 3 ON SHEET 61
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SOIL BED PREPARATION
- 6" COMMON TOPSOIL  
SEED MIXTURE 25-131 @ 220 LBS/ACRE  
FERTILIZER TYPE 3  
EROSION CONTROL BLANKET CATEGORY OS  
SOIL BED PREPARATION

--- CONSTRUCTION LIMITS

— BENCH - TYPE A  
SEE DETAIL SHEET 65

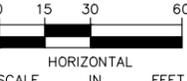
— BENCH - TYPE B  
SEE DETAIL SHEET 65

• WASTE RECEPTACLE AND RECYCLING UNIT  
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SEE SHEETS 334-354

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5. CONFIRM PLANTING SOIL QUANTITY AND TYPE PRIOR TO PLANTING TREES, SHRUBS, AND PERENNIALS.
6. SEE SHEETS 56-66 FOR LANDSCAPE AND STREETScape DETAILS.



No.	Date	Revisions	App.
8	10/6/21	SEED MIXTURE MODIFICATIONS	MFH

DESIGNED BY:	KML
DRAWN BY:	KML
CHECKED BY:	TRH
PROJECT NO.	160574012

**Kimley»Horn**  
 767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114  
 PHONE: 651-645-4197  
 WWW.KIMLEY-HORN.COM

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*Thomas R. Harrington*  
 THOMAS R. HARRINGTON, PLA  
 DATE: 2/12/2021 MN LIC. NO. 20349

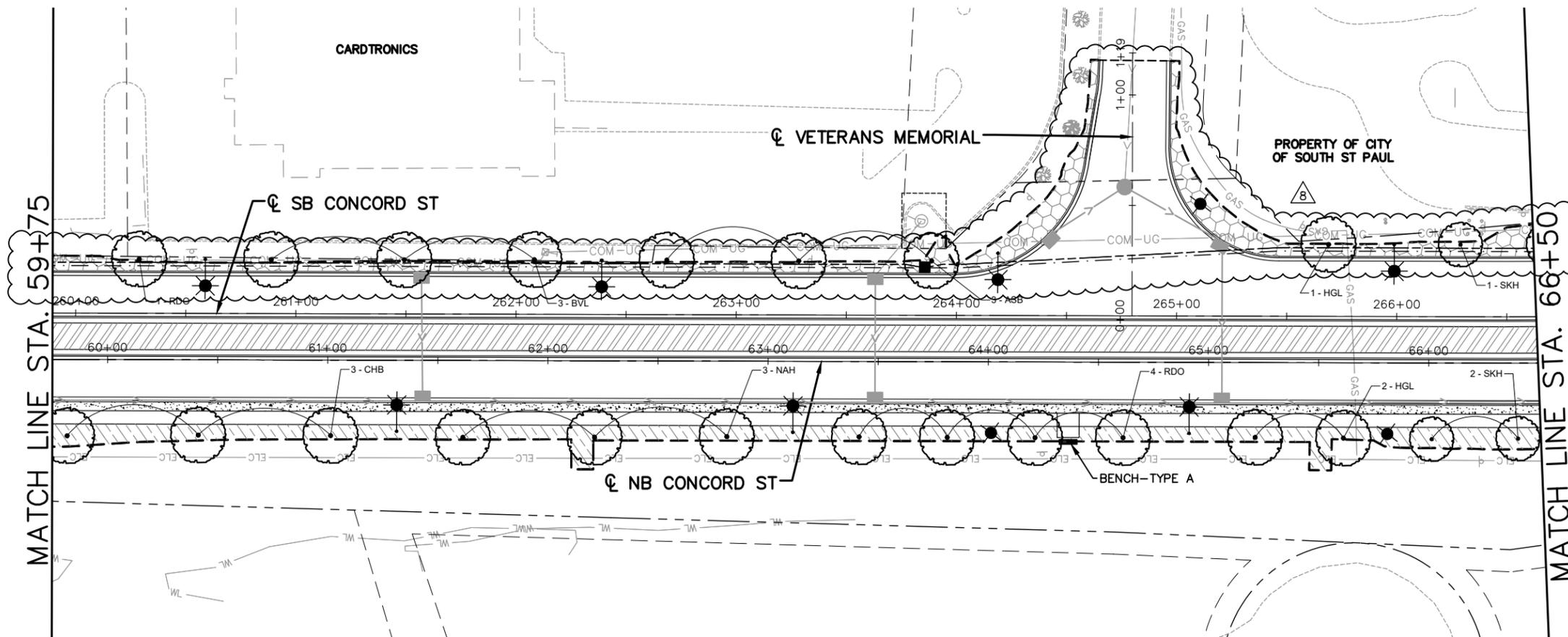


CITY OF SOUTH ST. PAUL  
 CONCORD STREET (TH 156)  
 IMPROVEMENTS  
 TH 494 TO ANNAPOLIS ST  
 CONCORD ST  
 TURF ESTABLISHMENT AND  
 STREETScape PLAN  
 STA. 53+00 TO STA. 59+75

CITY PROJECT	2016-11
S.P.	1912-59 (TH 156)
S.P.	168-010-004
S.A.P.	168-010-005

SHEET NO.  
**526**  
**700**

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**LEGEND**

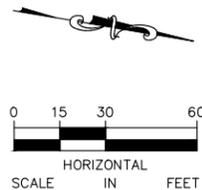
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FERTILIZER TYPE 3  
SOIL BED PREPARATION
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- 4" CONCRETE WALK SPECIAL -  
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- CONSTRUCTION LIMITS
- BENCH - TYPE A  
SEE DETAIL SHEET 65
- BENCH - TYPE B  
SEE DETAIL SHEET 65
- WASTE RECEPTACLE AND RECYCLING UNIT  
SEE DETAIL SHEET 65
- ☼ STREET LIGHTING  
SEE SHEETS 334-354

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				CHECKED BY:	TRH
				PROJECT NO.	160574012

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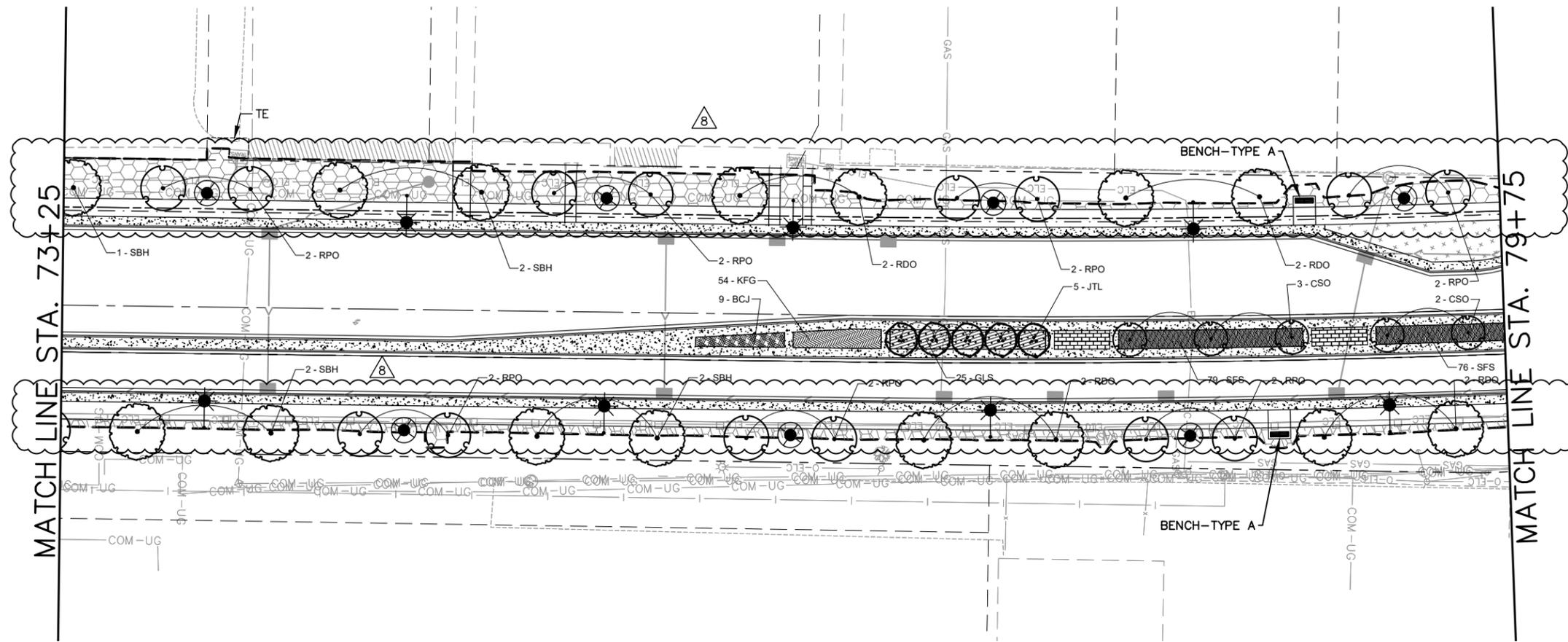
CITY OF SOUTH ST. PAUL  
 CONCORD STREET (TH 156)  
 IMPROVEMENTS  
 TH 494 TO ANNAPOLIS ST  
 CONCORD ST  
 TURF ESTABLISHMENT AND  
 STREETScape PLAN  
 STA. 59+75 TO STA. 66+50

CITY PROJECT	2016-11
S.P.	1912-59 (TH 156)
S.P.	168-010-004
S.A.P.	168-010-005

SHEET NO.  
**527**  
**700**



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**LEGEND**

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FERTILIZER TYPE 3  
SOIL BED PREPARATION
- 6" COMMON TOPSOIL  
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FERTILIZER TYPE 3  
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SOIL BED PREPARATION
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- 4" CONCRETE WALK SPECIAL -  
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SOIL BED PREPARATION

- CONSTRUCTION LIMITS
- BENCH - TYPE A  
SEE DETAIL SHEET 65
- BENCH - TYPE B  
SEE DETAIL SHEET 65
- WASTE RECEPTACLE AND RECYCLING UNIT  
SEE DETAIL SHEET 65
- ☀ STREET LIGHTING  
SEE SHEETS 334-354

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No.	Date	Revisions	App.	
8	10/6/21	SEED MIXTURE MODIFICATIONS	MFH	DESIGNED BY: KML DRAWN BY: KML CHECKED BY: TRH PROJECT NO. 160574012

**Kimley»Horn**  
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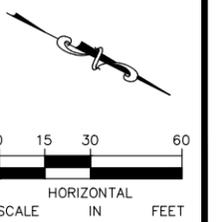
*Thomas R. Harrington*  
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DATE: 2/12/2021 MN LIC. NO. 20349

South St. Paul  
  
Dakota

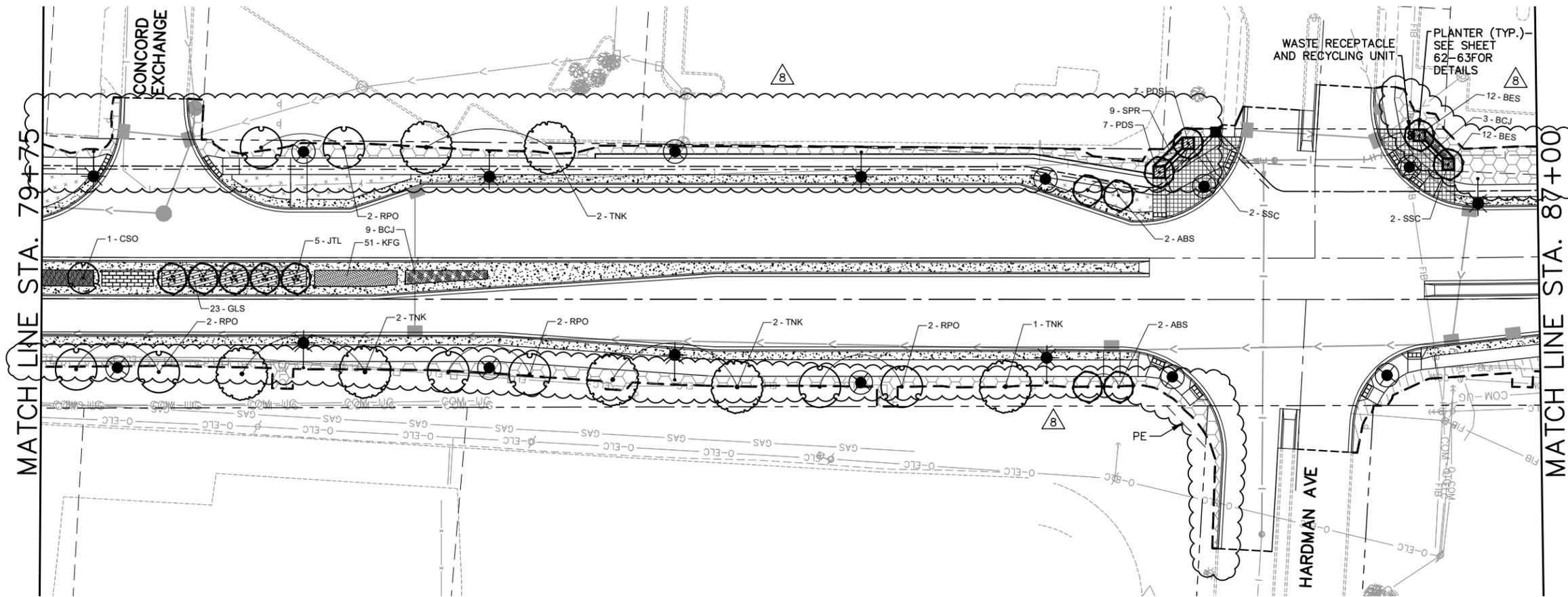
CITY OF SOUTH ST. PAUL  
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IMPROVEMENTS  
TH 494 TO ANNAPOLIS ST  
CONCORD ST  
TURF ESTABLISHMENT AND  
STREETScape PLAN  
STA. 73+25 TO STA. 79+75

CITY PROJECT	2016-11
S.P.	1912-59 (TH 156)
S.P.	168-010-004
S.A.P.	168-010-005

SHEET NO.  
**529**  
**700**



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**LEGEND**

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SODDING TYPE SALT RESISTANT  
FERTILIZER TYPE 3  
SOIL BED PREPARATION
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SOIL BED PREPARATION

--- CONSTRUCTION LIMITS

— BENCH - TYPE A  
SEE DETAIL SHEET 65

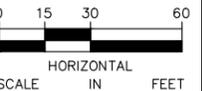
— BENCH - TYPE B  
SEE DETAIL SHEET 65

• WASTE RECEPTACLE AND RECYCLING UNIT  
SEE DETAIL SHEET 65

• STREET LIGHTING  
SEE SHEETS 334-354

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8	10/6/21	SEED MIXTURE MODIFICATIONS	MFH	DRAWN BY:	KML
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				PROJECT NO.	160574012

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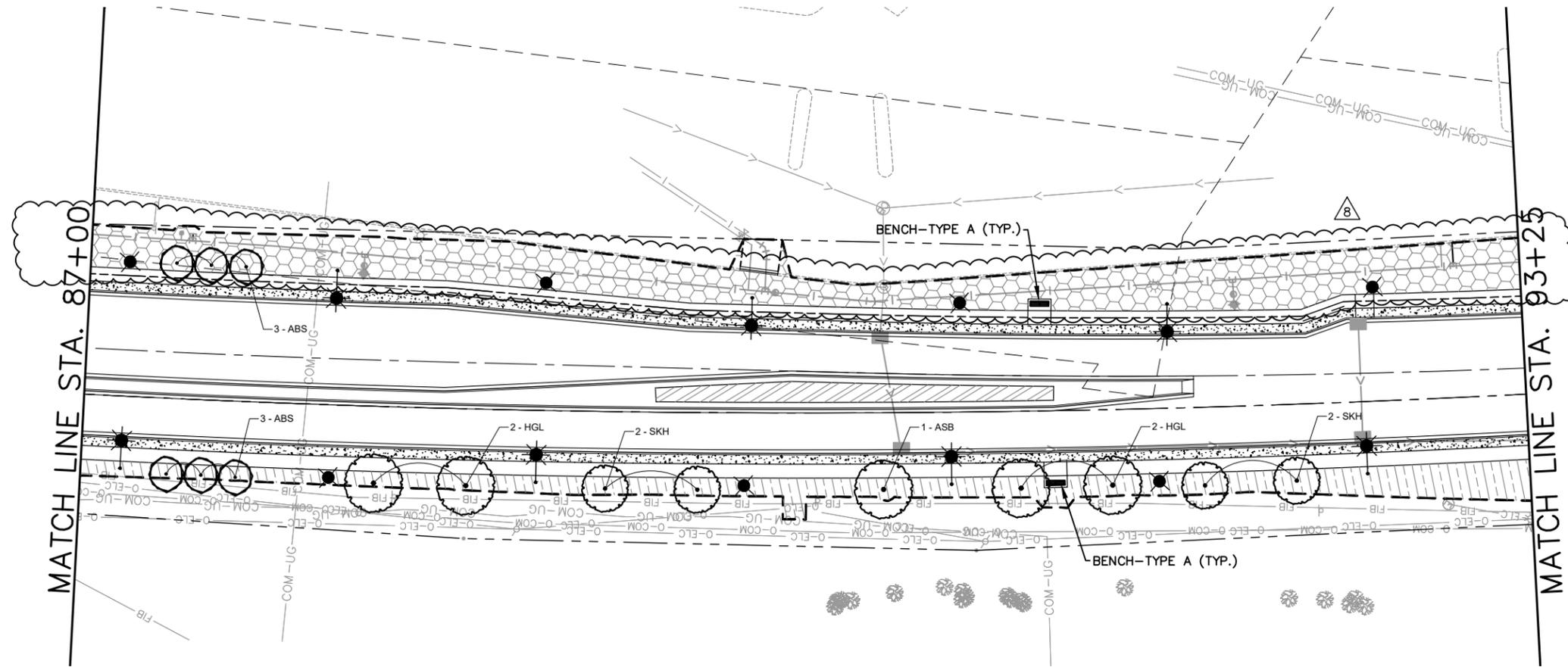


CITY OF SOUTH ST. PAUL  
 CONCORD STREET (TH 156)  
 IMPROVEMENTS  
 TH 494 TO ANNAPOLIS ST  
 CONCORD ST  
 TURF ESTABLISHMENT AND  
 STREETScape PLAN  
 STA. 79+75 TO STA. 87+00

CITY PROJECT	2016-11	SHEET NO.	530
S.P.	1912-59 (TH 156)		
S.P.	168-010-004		
S.A.P.	168-010-005		

700

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**LEGEND**

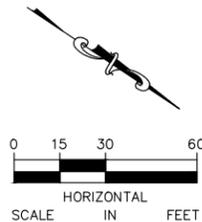
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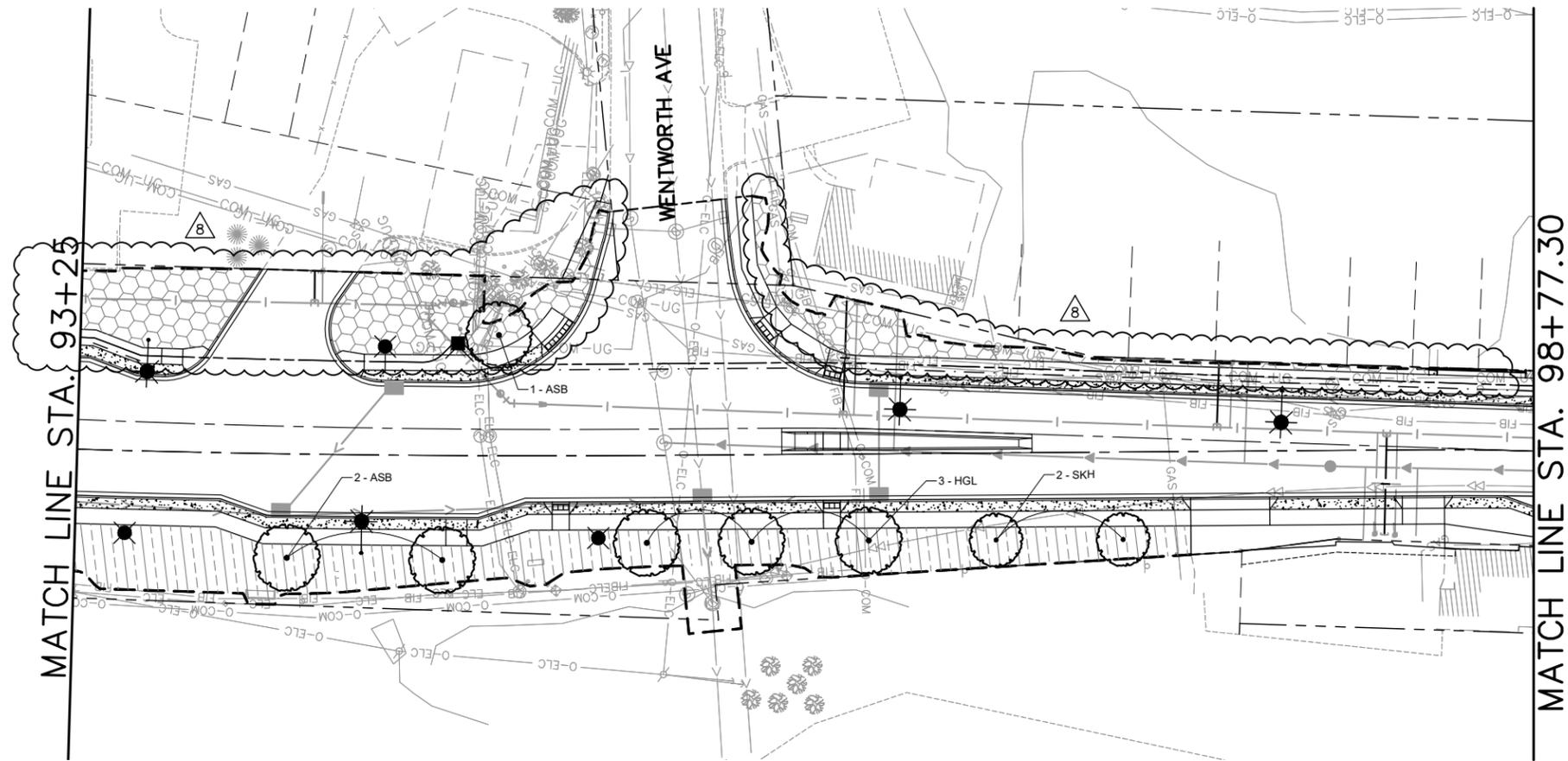


CITY OF SOUTH ST. PAUL  
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CITY PROJECT	2016-11
S.P.	1912-59 (TH 156)
S.P.	168-010-004
S.A.P.	168-010-005

SHEET NO.  
**531**  
**700**

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**LEGEND**

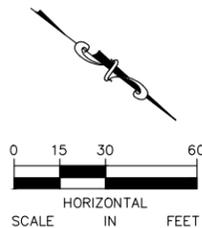
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 DATE: 2/12/2021 MN LIC. NO. 20349

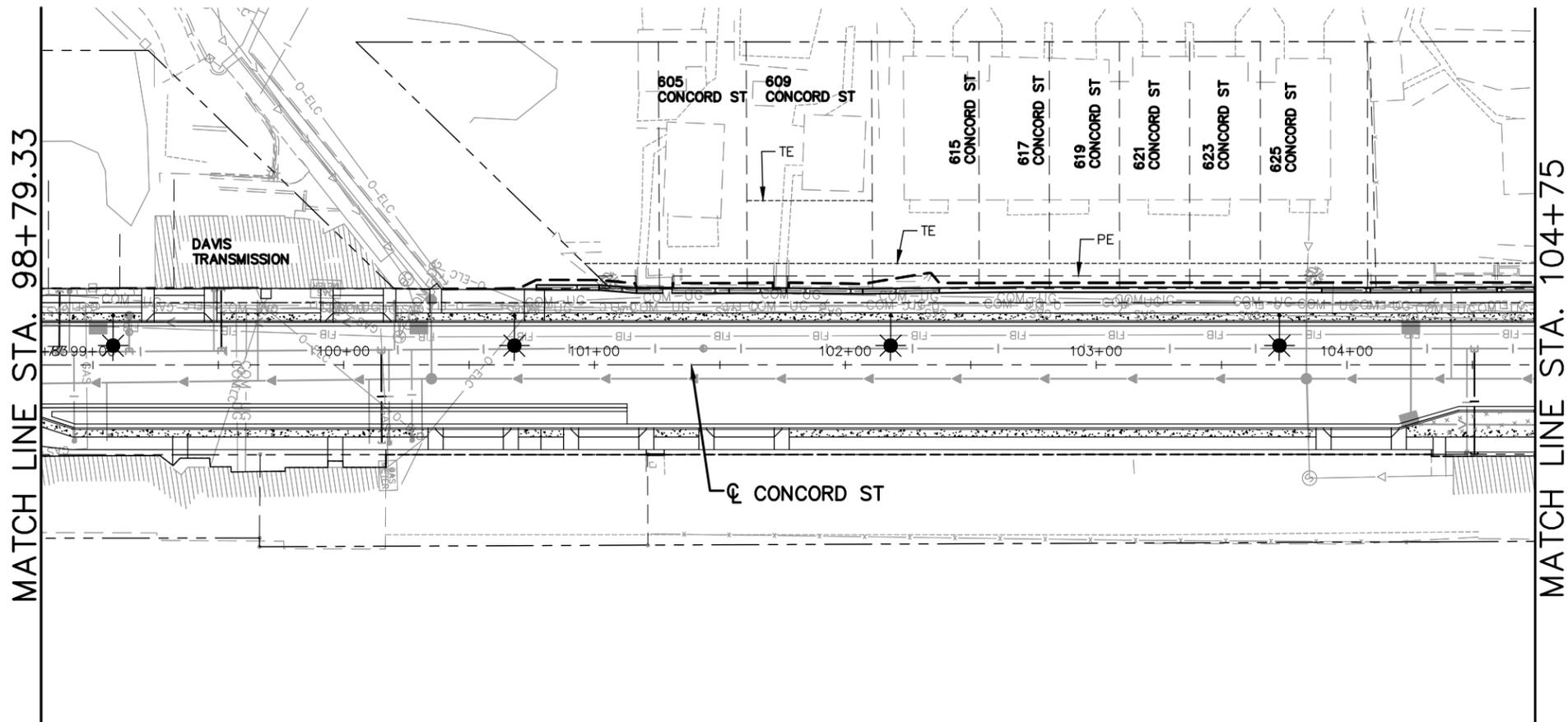


CITY OF SOUTH ST. PAUL  
 CONCORD STREET (TH 156)  
 IMPROVEMENTS  
 TH 494 TO ANNAPOLIS ST  
 CONCORD ST  
 TURF ESTABLISHMENT AND  
 STREETScape PLAN  
 STA. 93+25 TO STA. 98+77.30

CITY PROJECT	2016-11
S.P.	1912-59 (TH 156)
S.P.	168-010-004
S.A.P.	168-010-005

SHEET NO.  
**532**  
**700**

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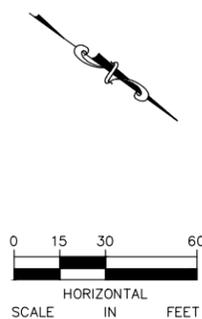
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FERTILIZER TYPE 3  
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SEE DETAIL 2 ON SHEET 61
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- BENCH - TYPE A  
SEE DETAIL SHEET 65
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SEE DETAIL SHEET 65
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DESIGNED BY:	KML
DRAWN BY:	KML
CHECKED BY:	TRH
PROJECT NO.	160574012

**Kimley»Horn**  
 767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114  
 PHONE: 651-645-4197  
 WWW.KIMLEY-HORN.COM

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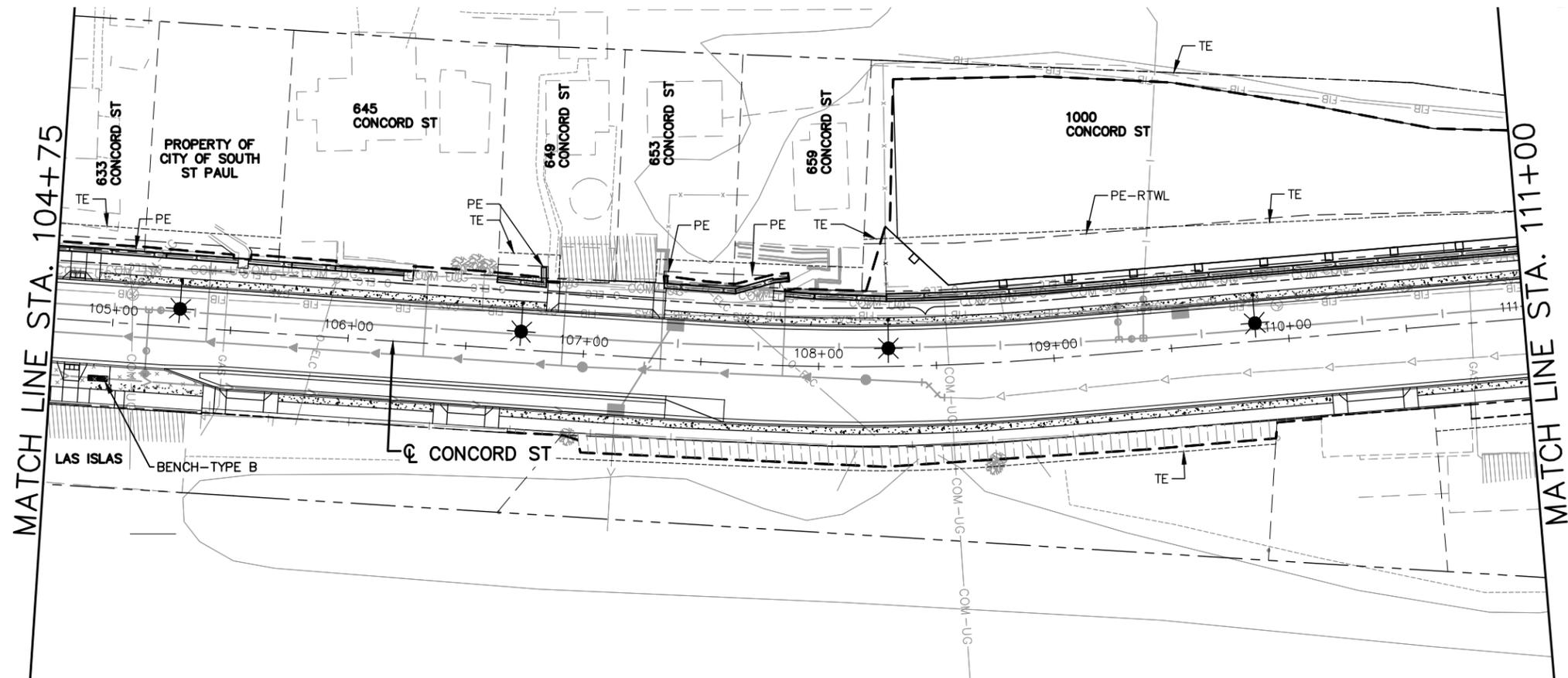


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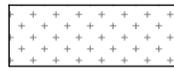
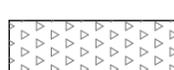
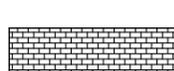
CITY PROJECT	2016-11
S.P.	1912-59 (TH 156)
S.P.	168-010-004
S.A.P.	168-010-005

SHEET NO.  
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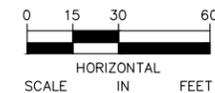
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PROJECT NO.	160574012

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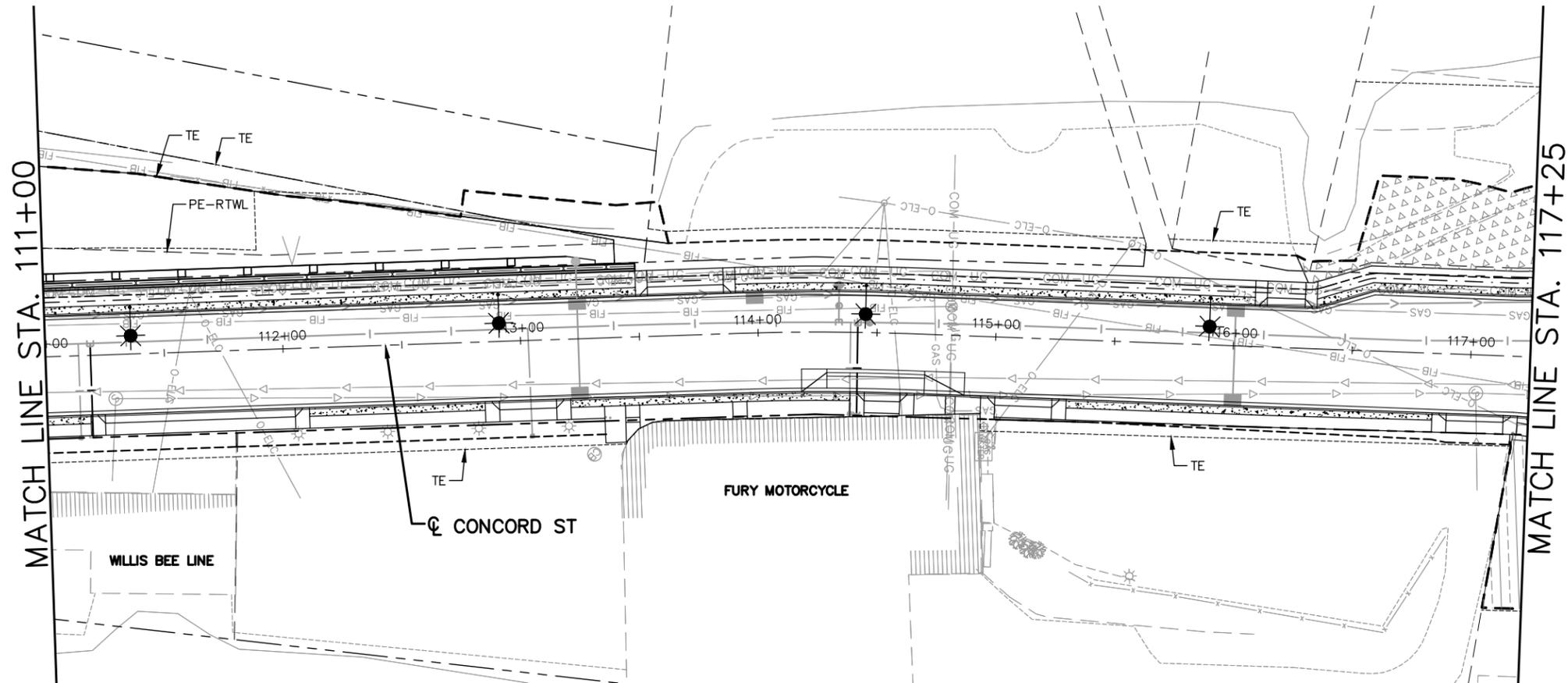


CITY OF SOUTH ST. PAUL  
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CITY PROJECT	2016-11
S.P.	1912-59 (TH 156)
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SHEET NO.  
**534**  
**700**

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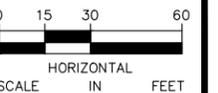
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PROJECT NO.	160574012

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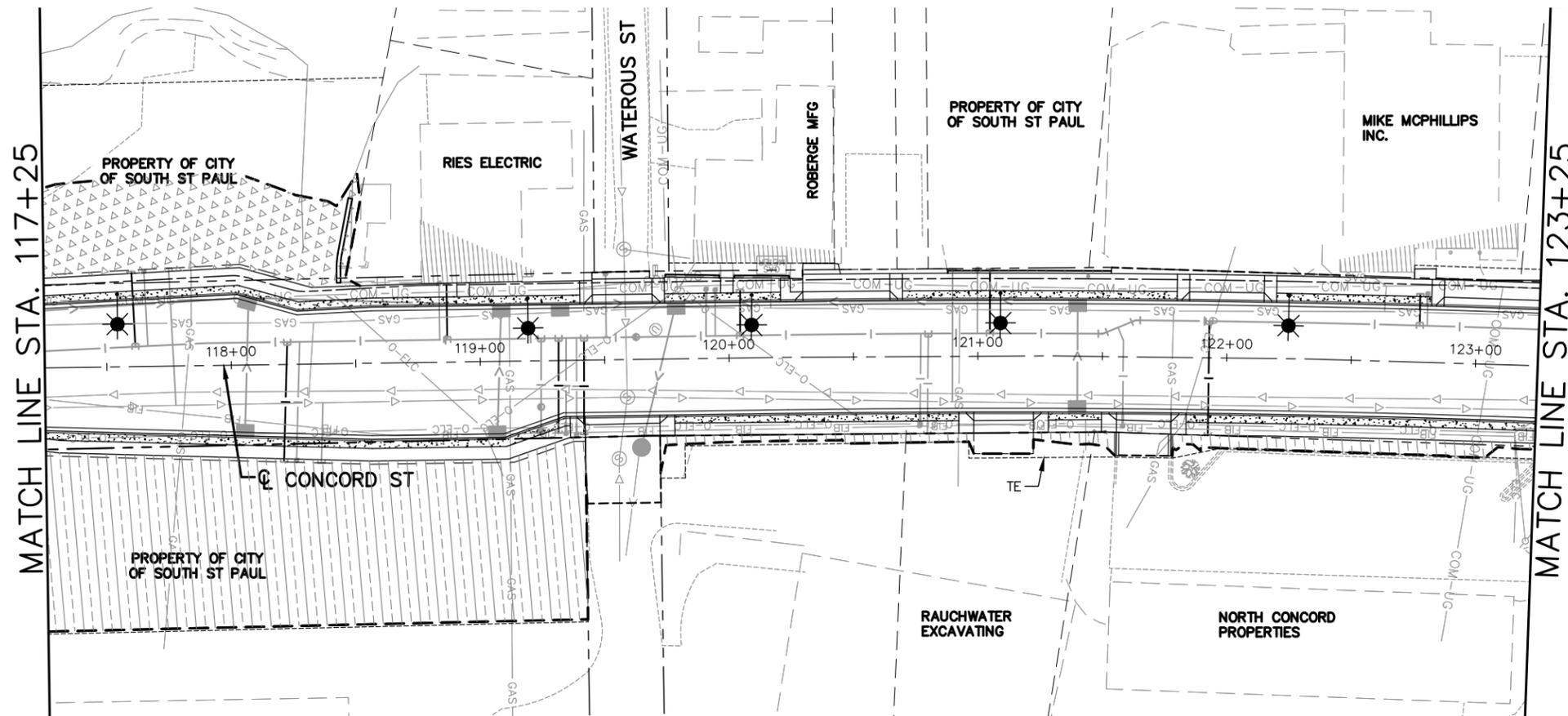


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CITY PROJECT	2016-11
S.P.	1912-59 (TH 156)
S.P.	168-010-004
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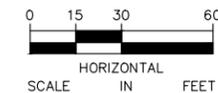
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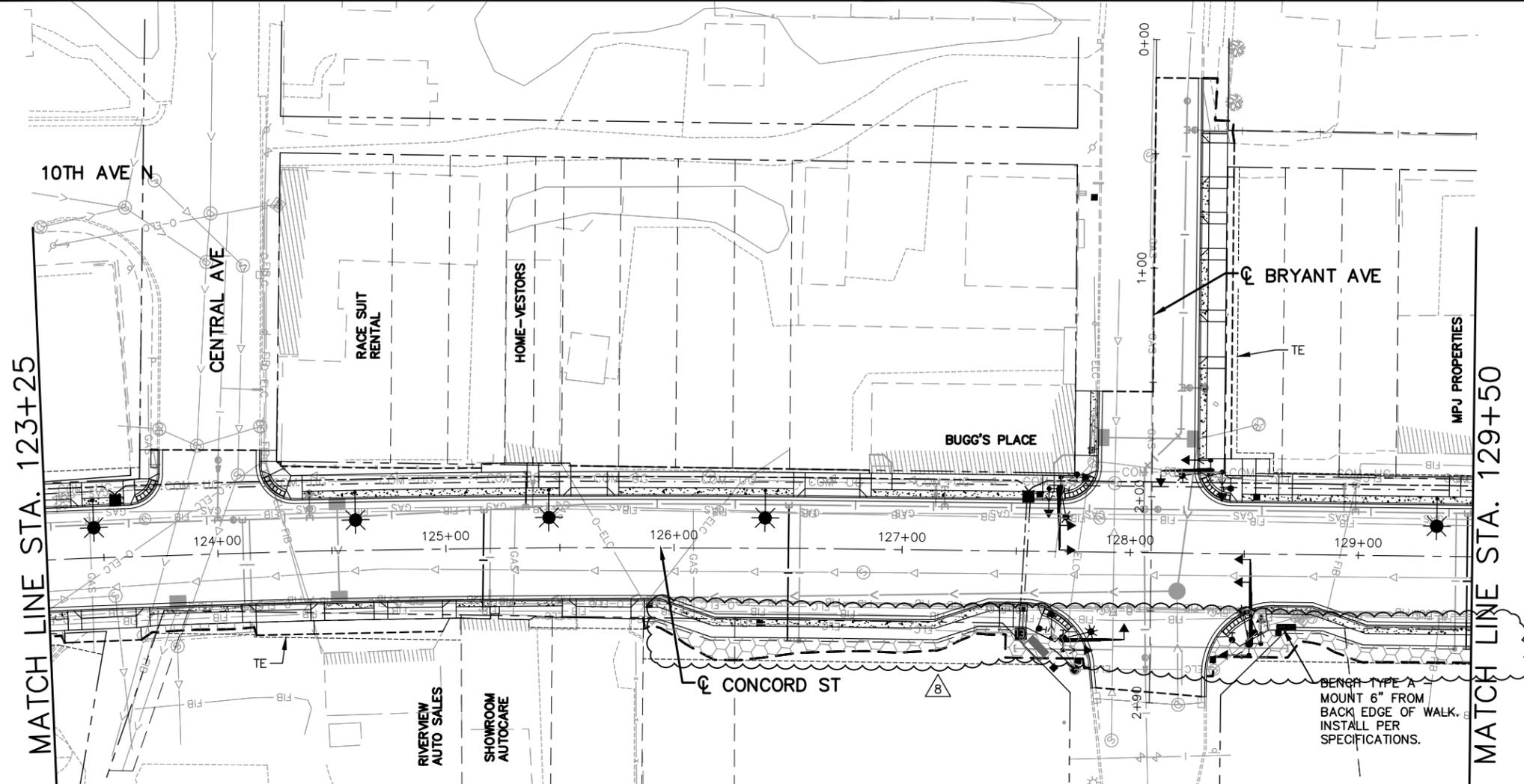


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CITY PROJECT	2016-11
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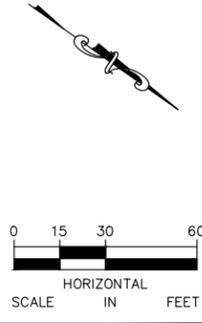
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8	10/6/21	SEED MIXTURE MODIFICATIONS	MFH

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SHEET NO.  
**537**  
**700**



# CITY COUNCIL AGENDA REPORT

**DATE:** November 4, 2024  
**DEPARTMENT:** Engineering  
**PREPARED BY:** Nick Guilliams  
**AGENDA ITEM NUMBER:** 8.G.

---

## **MEETING TYPE**

Regular Meeting

## **AGENDA ITEM**

### **ACTION TO BE CONSIDERED OR DESIRED OUTCOME**

Adopt Resolution 2024-125 RESOLUTION DECLARING COSTS TO BE ASSESSED FOR 7TH AVENUE SOUTH RECONSTRUCTION AND I-494 WATERMAIN IMPROVEMENTS PROJECT NO. 2023-12.

### **OVERVIEW**

The City will hold a public hearing to review and confirm the proposed assessments for local improvements associated with 7th Avenue South Reconstruction and I-494 Watermain Improvements 2023-12, in accordance with Minnesota Statutes Chapter 429. The assessment rates were determined based on the City's adopted Assessment Policy. The proposed interest rate is 5 percent, payable over a period of 10 years, starting in 2025. The hearing is scheduled for November 4, 2024.

All affected property owners were sent notices prior to the assessment hearing. Additionally, several large-scale items were constructed after the notices were distributed, resulting in a revision of the original contract cost from \$3,950,000 to a projected final construction cost of \$3,700,000.

### **SOURCE OF FUNDS**

No fiscal impact at this time.

### **ATTACHMENTS**

1. 2024-125 Resolution Declaring Costs 2023-12
2. Assessment Hearing Notice

**CITY OF SOUTH ST. PAUL  
DAKOTA COUNTY, MINNESOTA**

**RESOLUTION NO. 2024-125**

**A RESOLUTION DECLARING COSTS TO BE ASSESSED FOR  
7<sup>th</sup> AVENUE SOUTH RECONSTRUCTION AND I-494 WATERMAIN  
IMPROVEMENTS PROJECT NO. 2023-12**

**WHEREAS**, pursuant to Minnesota Statutes § 429.061 the costs and expense incurred and to be incurred in making the improvements of the 7<sup>th</sup> Avenue South Reconstruction and I-494 Watermain Improvements Project No. 2023-12, have been calculated and so determined.

**WHEREAS**, the cost and expense incurred and to be incurred in making improvements of 7<sup>th</sup> Avenue South Reconstruction and I-494 Watermain Improvements Project No. 2023-12, is the amount of \$3,700,000.00

**WHEREAS**, Minnesota Statutes § 429.061, Subd. 1, provides that “[a]t any time after the expense incurred or to be incurred in making an improvement shall be calculated under the direction of the Council, the Council shall determine by resolution the amount of the total expense a municipality will pay, other than the amount, if any, which it will pay as a property owner and the amount to be specially assessed.”

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF SOUTH ST. PAUL:**

- 1.) The amount to be specially assessed for the 7<sup>th</sup> Avenue South Reconstruction and I-494 Watermain Improvements Project shall be 12.5% of the total amount, namely the sum of \$462,124.80.
- 2.) The remaining 87.5% of the total costs for the 7<sup>th</sup> Avenue South Reconstruction and I-494 Watermain Improvements Project, amounting to \$3,237,875.20, will be financed through a combination of Municipal State-Aid Funds, City Infrastructure Funds, Water Utility Funds, Sanitary Sewer Utility Funds, and Storm Sewer Utility Funds.
- 3.) The City Clerk, with the assistance of the City Engineer and City Attorney, shall forthwith calculate the proper amount to be specially assessed for such improvements against every assessable lot or parcel of land without regard to cash evaluation as provided by law. The Clerk shall thereupon file a copy of such proposed assessments with the City and the proposed assessments shall be available for public inspection.
- 4.) The City Clerk shall, upon completion of the proposed assessments, notify the City Council thereof.

Passed by the City Council of South St. Paul this 4<sup>th</sup> day of November, 2024.

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James Francis, Mayor

Attest:

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Deanna Werner, City Clerk

## **EXHIBIT A**

### **CITY OF SOUTH ST. PAUL DAKOTA COUNTY, MINNESOTA**

#### **NOTICE OF HEARING ON PROPOSED SPECIAL ASSESSMENTS 7<sup>th</sup> AVENUE S RECONSTRUCTION & I-494 WATERMAIN IMPROVEMENTS**

##### **TO WHOM IT MAY CONCERN:**

Notice is hereby given that the City Council of South St. Paul, MN, will meet in the City Council Chambers at South St. Paul City Hall, 125 Third Avenue North, South St. Paul, MN 55075 at 7:00 p.m. on Monday, November 4, 2024, to consider, and possibly adopt, the proposed assessment for **City Project No. 2023-012 7<sup>th</sup> Ave S Reconstruction & I-494 Watermain Improvements**. Adoption by the council of the proposed assessment against abutting properties may occur at the hearing.

##### Nature of Work

The full street reconstruction of 7<sup>th</sup> Avenue S from the I-494 frontage road to South Street W included bituminous base course and wear course paving, concrete curb and gutter replacement, concrete sidewalk replacement and installation, subgrade correction, watermain replacement, sanitary sewer and storm sewer upgrades, and restoration. Watermain work along and across I-494 was also included with this project.

The amount to be specially assessed against your particular lot, piece, or parcel of land is shown in the attachment to this notice. The proposed assessment roll is on file for public inspection at the City Engineer's office. You are invited to examine the assessment roll prior to the hearing. City offices are open from 8:00 to 4:30 P.M., Monday through Friday. No appointments are necessary. The assessment roll will also be available for examination at the hearing. The total amount of the proposed assessments is **\$462,124.80**. The contractor is scheduled to substantially complete the project by November 1<sup>st</sup>, 2024. The total cost of the project is projected to be **\$3,950,000.00**.

Once the special assessments are levied and adopted, they will be certified by the Dakota County Auditor and extended on the property tax lists for collection with real estate taxes. Prior to this certification, the property owner may prepay the special assessment without any interest thereon, provided the prepayment is received within thirty (30) days after levy and adoption of the special assessments by the City Council. **If the property owner wishes to prepay the special assessments without any interest, then such payment must be made to the City of South St. Paul at 125 Third Avenue North, South St. Paul, MN 55075. If prepayment is not received within thirty (30) days after the special assessments are levied and adopted by the City Council, then:**

- a.) the total principal amounts of the special assessments are divided into an equal number of annual installments. The proposed number of annual installments are ten (10). The number of annual installments will be decided by City Council when the special assessments are levied.
- b.) the principal amounts of the special assessments shall bear interest at the rate determined by the City Council when the special assessments are levied. The proposed interest rate is 5%.
- c.) interest begins to accrue from the date the special assessments are levied.
- d.) the annual principal installments, together with interest accrued on the unpaid balance, are due and payable together with real estate taxes.

e.) interest on the entire special assessment from the date of levy to December 31<sup>st</sup> of the year in which the first installment is payable, is added to the first principal installment. The first installment will be due and payable in 2025.

f.) if in the future the property owner wishes to pay off the remaining balance of the assessments, then Minnesota Statute Section 429.061, Subdivision 3, provides that such payment may be made to the Dakota County Auditor, together with interest accrued to December 31<sup>st</sup> of the year in which payment is made as long as payment is made prior to November 15<sup>th</sup>; if the pay off occurs after November 15<sup>th</sup>, then interest for the next year is also added.

Written or oral objections will be considered at the meeting. No appeal to district court may be taken as to the amount of an assessment unless a written objection signed by the affected property owner is filed with the municipal clerk prior to the assessment hearing or presented to the presiding officer at the hearing. The council may upon such notice consider any objection to the amount of a proposed individual assessment at an adjourned meeting upon such further notice to the affected property owners as it deems advisable.

Under Minn. Stat. §§ 435.193 to 435.195, the South St. Paul City Council may, in its discretion, defer the payment of this special assessment for any homestead property owned by a person 65 years of age or older or one retired by virtue of a permanent and total disability for whom it would be a hardship to make the payments. When deferment of the special assessment has been granted and is terminated for any reason provided in that law, all amounts accumulated plus applicable interest become due. Any assessed property owner meeting the requirements of this law, may, within 30 days of the confirmation of the assessment, apply to the city clerk for the prescribed form for such deferral of payment of this special assessment on their property.

An owner may appeal an assessment to district court pursuant to Minn. Stat. § 429.081 by serving notice of the appeal upon the mayor or clerk of the city within 30 days after the adoption of the assessment and filing such notice with the district court within ten days after service upon the mayor or clerk.

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Deanna Werner  
City Clerk

Publish: Wednesday, October 16, 2024, and Wednesday, October 23, 2024 (Pioneer Press)

Parcel ID	Site Address	Owner	Owner Address	City State Zip	Assessable Front Footage	Total Assessed Amount
362910000010	1203 7TH AVE S	ALEJANDRO TAPIA	1203 7TH AVE S	SOUTH ST. PAUL, MN 55075	52	\$4,700.80
362910000020	1207 7TH AVE S	AMY H GALLOWAY	1207 7TH AVE S	SOUTH ST. PAUL, MN 55075	50	\$4,520.00
362910000030	1211 7TH AVE S	KEVIN L AEILTS	1211 7TH AVE S	SOUTH ST. PAUL, MN 55075	49	\$4,429.60
362910000040	1217 7TH AVE S	NEWBLAI HER	1217 7TH AVE S	SOUTH ST. PAUL, MN 55075	50	\$4,520.00
362910000050	1223 7TH AVE S	PAMELA JEAN STEFFEN	1223 7TH AVE S	SOUTH ST. PAUL, MN 55075	50	\$4,520.00
362910000060	1227 7TH AVE S	MITCHELL DORUFF	1227 7TH AVE S	SOUTH ST. PAUL, MN 55075	50	\$4,520.00
362910000070	1231 7TH AVE S	EDWARD J JR WITHUSKI	1231 7TH AVE S	SOUTH ST. PAUL, MN 55075	50	\$4,520.00
362910000080	1239 7TH AVE S	HOME TRS LLC	PO BOX 4090	SCOTTSDALE, AZ 85261	50	\$4,520.00
362910000090	1243 7TH AVE S	DOREEN C NEWSTRAND	1243 7TH AVE S	SOUTH ST. PAUL, MN 55075	50	\$4,520.00
362910000100	1247 7TH AVE S	ELAINE M POLLOCK	1247 7TH AVE S	SOUTH ST. PAUL, MN 55075	49	\$4,429.60
362910000110	1253 7TH AVE S	OSCAR BAZAN SANTIAGO	1253 7TH AVE S	SOUTH ST. PAUL, MN 55075	50	\$4,520.00
362910000120	1259 7TH AVE S	SANDRA K FOLSOM	1259 7TH AVE S	SOUTH ST. PAUL, MN 55075	50	\$4,520.00
362910000130	1258 7TH AVE S	SONJA LATIMER	1258 7TH AVE S	SOUTH ST. PAUL, MN 55075	49	\$4,429.60
362910000140	1252 7TH AVE S	MAISIE V PINA PORTILLO	1252 7TH AVE S	SOUTH ST. PAUL, MN 55075	50	\$4,520.00
362910000150	1246 7TH AVE S	ZACHARY FRITZ	1246 7TH AVE S	SOUTH ST. PAUL, MN 55075	50	\$4,520.00
362910000170	1240 7TH AVE S	ANAKAREN REYES ALCAZAR	1240 7TH AVE S	SOUTH ST. PAUL, MN 55075	74	\$6,689.60
362910000180	1232 7TH AVE S	NATHAN CUSTARD	1232 7TH AVE S	SOUTH ST. PAUL, MN 55075-3301	74	\$6,689.60
362910000190	1226 7TH AVE S	ANDREA R THURY	1226 7TH AVE S	SOUTH ST. PAUL, MN 55075-3301	50	\$4,520.00
362910000200	1220 7TH AVE S	RONALD C BURG & RITA L KRECH	1220 7TH AVE S	SOUTH ST. PAUL, MN 55075-3301	50	\$4,520.00
362910000210	1216 7TH AVE S	SAMANTHA JOE REMMEN & MICHAEL JACOB NEUMANN	1216 7TH AVE S	SOUTH ST. PAUL, MN 55075	49	\$4,429.60
362910000220	1212 7TH AVE S	JUSTIN E COX	1212 7TH AVE S	SOUTH ST. PAUL, MN 55075-3301	50	\$4,520.00
362910000230	1204 7TH AVE S	MICHAEL F GRUBER	1204 7TH AVE S	SOUTH ST. PAUL, MN 55075-3301	50	\$4,520.00
362910000240	1200 7TH AVE S	GALE J HALVORSON	1200 7TH AVE S	SOUTH ST. PAUL, MN 55075	52	\$4,700.80
363210002160	618 DALE ST W	JULIE C MORGAN	618 DALE ST W	SOUTH ST. PAUL, MN 55075-3241	38	\$3,435.20
363210002170	1155 7TH AVE S	CATHRINE L MATE	1155 7TH AVE S	SOUTH ST. PAUL, MN 55075-3104	42	\$3,796.80
363210002180	1149 7TH AVE S	KEITH D SCHIPP	1149 7TH AVE S	SOUTH ST. PAUL, MN 55075	40	\$3,616.00
363210002200	1145 7TH AVE S	KAMP PAUL A & LISA L TSTE	1059 WESTERN AVE	SAINT PAUL, MN 55117	42	\$3,796.80
363210002210	1141 7TH AVE S	SANDRA J MUHLHAUSEN	1141 7TH AVE S	SOUTH ST. PAUL, MN 55075-3104	50	\$4,520.00
363210002220	1137 7TH AVE S	RICHARD J & THERESA RANALLS	1137 7TH AVE S	SOUTH ST. PAUL, MN 55075	42	\$3,796.80
363210002230	1131 7TH AVE S	DENNIS W & NANCY L SAGER	1131 7TH AVE S	SOUTH ST. PAUL, MN 55075-3104	50	\$4,520.00
363210002240	1127 7TH AVE S	KEITH A & KIMBERLY G BAKER	1127 7TH AVE S	SOUTH ST. PAUL, MN 55075-3104	42	\$3,796.80
363210002250	1123 7TH AVE S	MICHAEL W HAMMARSTEN	1123 7TH AVE S	SOUTH ST. PAUL, MN 55075-3104	50	\$4,520.00
363210002260	1119 7TH AVE S	VERNON M HAMBERG	1119 7TH AVE S	SOUTH ST. PAUL, MN 55075-3104	42	\$3,796.80
363210002280	1113 7TH AVE S	BARBARA ROTH & JACK II ROTH	1113 7TH AVE S	SOUTH ST. PAUL, MN 55075	60	\$5,424.00
363210002290	1107 7TH AVE S	GREGORY GEIS	1107 7TH AVE S	SOUTH ST. PAUL, MN 55075	60	\$5,424.00
363210002300	1101 7TH AVE S	KARA J BECKMAN & MARIO A FUENTES ROQUE	1101 7TH AVE S	SOUTH ST. PAUL, MN 55075-3104	40	\$3,616.00
363210003030	1106 7TH AVE S	FREDRICK W FUHRMANN	7065 SHERWOOD CT	WOODBURY, MN 55125	75	\$6,780.00
363210003050	1114 7TH AVE S	MICHELLE LORI CHELL	1114 7TH AVE S	SOUTH ST. PAUL, MN 55075	60	\$5,424.00
363210003060	1120 7TH AVE S	JUANITA & LYDIA ADAMEZ	1120 7TH AVE S	SOUTH ST. PAUL, MN 55075-3103	60	\$5,424.00
363210003080	1126 7TH AVE S	LORRAINE A TABOR	1126 7TH AVE S	SOUTH ST. PAUL, MN 55075	60	\$5,424.00
363210003090	1132 7TH AVE S	CHRISTOPHER RUPP	1132 7TH AVE S	SOUTH ST. PAUL, MN 55075	60	\$5,424.00
363210003110	1144 7TH AVE S	JANINE STAMMLER	1144 7TH AVE S	SOUTH ST. PAUL, MN 55075	60	\$5,424.00
363210003120	1146 7TH AVE S	IH2 PROPERTY ILLINOIS LP	1717 MAIN ST STE 2000	DALLAS, TX 75201	60	\$5,424.00
363210003140	1150 7TH AVE S	DEBRA MIRANDA	1150 7TH AVE S	SOUTH ST. PAUL, MN 55075	60	\$5,424.00
363210003150	1156 7TH AVE S	CRISTINE EDGELL	1156 7TH AVE S	SOUTH ST. PAUL, MN 55075	60	\$5,424.00
363210010170	1357 7TH AVE S	DANIEL P & HOPE A TUCCITTO	1357 7TH AVE S	SOUTH ST. PAUL, MN 55075	60	\$5,424.00
363210010180	1351 7TH AVE S	CASSANDRA GRACE SCALZE	1351 7TH AVE S	SOUTH ST. PAUL, MN 55075	60	\$5,424.00
363210010200	1345 7TH AVE S	ARLENE V MOEHRLE	1345 7TH AVE S	SOUTH ST. PAUL, MN 55075	49	\$4,429.60
363210010210	1339 7TH AVE S	ANGELA N SELESKI	1339 7TH AVE S	SOUTH ST. PAUL, MN 55075	55	\$4,972.00

363210010220	1333 7TH AVE S	AMANDA S BURGESS	1333 7TH AVE S	SOUTH ST. PAUL, MN 55075	55	\$4,972.00
363210011020	1300 7TH AVE S	ELLEN PATRICIA MCNAIR	1300 7TH AVE S	SOUTH ST. PAUL, MN 55075	60	\$5,424.00
363210011040	1306 7TH AVE S	ANITA K CLAUSEN	1306 7TH AVE S	SOUTH ST. PAUL, MN 55075	75	\$6,780.00
363210011060	1316 7TH AVE S	ANTHONY CUBUS	1316 7TH AVE S	SOUTH ST. PAUL, MN 55075	60	\$5,424.00
363210011070	1322 7TH AVE S	MICHA MURPHY	1322 7TH AVE S	SOUTH ST. PAUL, MN 55075	40	\$3,616.00
363210011080	1328 7TH AVE S	KENDRA TUVE	1328 7TH AVE S	SOUTH ST. PAUL, MN 55075	40	\$3,616.00
363210011092	1332 7TH AVE S	PATRICK L GRAFSKY	1332 7TH AVE S	SOUTH ST. PAUL, MN 55075-3303	40	\$3,616.00
363210011101	1336 7TH AVE S	LINDA L PREKKER	1336 7TH AVE S	SOUTH ST. PAUL, MN 55075-3303	50	\$4,520.00
363210011110	1340 7TH AVE S	IRMA ALVARADO	1340 7TH AVE S	SOUTH ST. PAUL, MN 55075	50	\$4,520.00
363210011131	1344 7TH AVE S/ 1346 7TH AVE S	NANKUMAR RAGJIERAM & SANITA MANYRAM	19142 ISMAY PATH	LAKEVILLE, MN 55044	60	\$5,424.00
363210011140	1354 7TH AVE S	TERRANCE J PALMEN	1354 7TH AVE S	SOUTH ST. PAUL, MN 55075-3303	60	\$5,424.00
363210011150	1358 7TH AVE S	AUSTIN LUHRS	1358 7TH AVE S	SOUTH ST. PAUL, MN 55075	40	\$3,616.00
363210014020	1400 7TH AVE S	BRADYN & ELIZABETH ANN HAWKINS	1400 7TH AVE S	SOUTH ST. PAUL, MN 55075	59	\$5,333.60
363210014030	1406 7TH AVE S	YEE WONG CHIU & LAI NGA HO	1406 7TH AVE S	SOUTH ST. PAUL, MN 55075	60	\$5,424.00
363210014050	1412 7TH AVE S	DANIEL TONDRA	1412 7TH AVE S	SOUTH ST. PAUL, MN 55075	60	\$5,424.00
363210014060	1418 7TH AVE S	FRANCES COLON	1418 7TH AVE S	SOUTH ST. PAUL, MN 55075-3305	59	\$5,333.60
363210014080	1424 7TH AVE S	TIMOTHY KELLY	1424 7TH AVE S	SOUTH ST. PAUL, MN 55075	59	\$5,333.60
363210014090	1430 7TH AVE S	MICHAEL G SABANJO & SUSAN M SABANJO	1430 7TH AVE S	SOUTH ST. PAUL, MN 55075-3305	60	\$5,424.00
363210014110	1436 7TH AVE S	MICHAEL T & KATHLEEN SIMONDS	1436 7TH AVE S	SOUTH ST. PAUL, MN 55075-3305	60	\$5,424.00
363210014120	1442 7TH AVE S	1442 HOLDINGS LLC	1442 7TH AVE S	SOUTH ST. PAUL, MN 55075	59	\$5,333.60
363210014140	1448 7TH AVE S	RYAN T SCHMIDT	1448 7TH AVE S	SOUTH ST. PAUL, MN 55075	59	\$5,333.60
363210014150	1454 7TH AVE S	NORMA PATRICIA CORRAL-JIMENEZ	1454 7TH AVE S	SOUTH ST. PAUL, MN 55075	50	\$4,520.00
363210015170	1457 7TH AVE S	FRAZIER RECOVERY HOME LLC	PO BOX 142	COTTAGE GROVE, MN 55016	49	\$4,429.60
363210015180	1451 7TH AVE S	KATHERINE KELLEY	1451 7TH AVE S	SOUTH ST. PAUL, MN 55075	50	\$4,520.00
363210015190	1447 7TH AVE S	LACEY BARNES & JULIA BARNES	1447 7TH AVE S	SOUTH ST. PAUL, MN 55075	50	\$4,520.00
363210015200	1443 7TH AVE S	PAMELA SCHWANTES	1443 7TH AVE S	SOUTH ST. PAUL, MN 55075-3306	50	\$4,520.00
363210015220	1435 7TH AVE S	JANINE J MCMORROW & STEVEN T MCMORROW	1435 7TH AVE S	SOUTH ST. PAUL, MN 55075	75	\$6,780.00
363210015240	1431 7TH AVE S	ROBERT ERIC KUEHN	1431 7TH AVE S	SOUTH ST. PAUL, MN 55075	60	\$5,424.00
363210015250	1421 7TH AVE S	JAY W & CONNIE E EMERSON	1421 7TH AVE S	SOUTH ST. PAUL, MN 55075-3306	60	\$5,424.00
363210015270	1417 7TH AVE S	CRAIG A & CAROL M JERDE	1417 7TH AVE S	SOUTH ST. PAUL, MN 55075-3306	50	\$4,520.00
363210015280	1413 7TH AVE S	MARY A ROSS	1413 7TH AVE S	SOUTH ST. PAUL, MN 55075-3306	48	\$4,339.20
363210015290	1407 7TH AVE S	DAVID JEROME KAISER	1407 7TH AVE S	SOUTH ST. PAUL, MN 55075	61	\$5,514.40
363210015300	1401 7TH AVE S	JEAN F TSTE MCDONALD	1401 7TH AVE S	SOUTH ST. PAUL, MN 55075	40	\$3,616.00
364875006070	1025 7TH AVE S	SOFIYA KEBETO	1025 7TH AVE S	SOUTH ST. PAUL, MN 55075	49	\$4,429.60
364875006090	1033 7TH AVE S/ 1035 7TH AVE S	MARGARET R BORDANEA	1033 7TH AVE S	SOUTH ST. PAUL, MN 55075	75	\$6,780.00
364875006100	1037 7TH AVE S/ 1039 7TH AVE S	LJT HOLDINGS LLC	8052 ENCLAVE CIR	WOODBURY, MN 55125	50	\$4,520.00
364875006110	1041 7TH AVE S	ASHLEY STARK & SEAN STARK	1041 7TH AVE S	SOUTH ST. PAUL, MN 55075	40	\$3,616.00
364875006120	1047 7TH AVE S	TAYLOR ARIELLE JONES	9019 COFFMAN CIR	INVER GROVE HEIGHTS, MN 55076	40	\$3,616.00
364875006130	1051 7TH AVE S	JON M & SHARYN K BENNETT	1051 7TH AVE S	SOUTH ST. PAUL, MN 55075-3102	40	\$3,616.00
364875006150	1055 7TH AVE S	JOSHUA I & JENNY L KOCH	1055 7TH AVE S	SOUTH ST. PAUL, MN 55075-3102	75	\$6,780.00
364875007170	1056 7TH AVE S	JEFFREY A COLE & JEANNIE N LANGE	1056 7TH AVE S	SOUTH ST. PAUL, MN 55075-3101	60	\$5,424.00
364875007180	1050 7TH AVE S	DEBORAH NOVATNEY	1050 7TH AVE S	SOUTH ST. PAUL, MN 55075	60	\$5,424.00
364875007200	1044 7TH AVE S	JAMES A FORD	1044 7TH AVE S	SOUTH ST. PAUL, MN 55075-3101	60	\$5,424.00
364875007210	1038 7TH AVE S	ELOY ARREOLA & MISAEL ARREOLA PALACIOS	1038 7TH AVE S	SOUTH ST. PAUL, MN 55075	60	\$5,424.00
364875007230	1032 7TH AVE S	BRADLEY & HOLLY BRANVILLE	1032 7TH AVE S	SOUTH ST. PAUL, MN 55075	60	\$5,424.00
364875007240	1026 7TH AVE S	KELVIN RODELL BILBRO & DIVINE BILBRO	1026 7TH AVE S	SOUTH ST. PAUL, MN 55075	60	\$5,424.00
					<b>TOTAL:</b>	<b>\$462,124.80</b>



# CITY COUNCIL AGENDA REPORT

**DATE:** November 4, 2024  
**DEPARTMENT:** City Administrator  
**PREPARED BY:** Ryan Garcia  
**AGENDA ITEM NUMBER:** 8.H.

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## MEETING TYPE

Regular Meeting

## AGENDA ITEM

### **ACTION TO BE CONSIDERED OR DESIRED OUTCOME**

Through Consent, motion to accept proposal from Kraus Anderson for Construction Management Advisor (CMA) Services for the public works facility project and authorize the City Administrator to execute agreements on behalf of the City to retain Kraus Anderson for CMA services for the project.

### **OVERVIEW**

In late-June 2022, the City Council directed staff to complete a Master Plan for key City Buildings and Facilities as a part of their Action Strategy to implement the 2023 Council Goals. An RFP for the project was issued in December 2022, and the City received five proposals. A selection committee made up of multiple departments identified a multi-disciplinary team lead by BKV Group Architects as most well-suited to lead this effort. Throughout 2023 and early 2024, the BKV team – including Kraus Anderson Construction Company in a primary planning and estimating role - collaborated with City departments to define immediate and long-term space needs, evaluate the condition, resiliency, and functionality of current City Facilities, and prepare recommendations for future facility and building investments (and in some cases, divestments). The Study concluded that the City should consider replacement of the public works operations currently housed at 400 Richmond Street with a new facility, potentially the City-owned site at 316 Malden Street (former Thompson Motors property). This site, at 5.6 acres, offers (just barely) the additional space needed (501 Richmond measures 4.7 acres) to accommodate the proposed building program of a 75,000 – 85,000 square foot facility to include administrative offices/support spaces, vehicle maintenance bays, vehicle and equipment storage, material, tool, and supply shops, and ancillary police department storage, salt storage, and other covered material storage. The Study acknowledges the need for more detailed design, but a preliminary test fit confirmed the suitability of 316 Malden for this purpose. At a May 13, 2024 Worksession, the City Council discussed the Master Plan’s findings and recommendations that the Central Maintenance Facility at 400 Richmond Street East was deficient and should be considered for replacement in the near future.

At the May 13, 2024 Worksession, Council discussed the Master Plan’s proposed building program and cost estimate and directed staff to continue moving forward with next steps for planning for a replacement public works facility, albeit with an eye towards reducing the project’s costs, which were estimated at a total cost of up to \$32,800,000. In light of Council’s direction in May to proceed with the next steps in planning for the replacement of the facility and

the subsequent confirmation that State and Federal assistance would not be forthcoming to assist with funding a replacement facility, Staff recommends that we retain Kraus Anderson Construction Company (KA) as a Construction Management Advisor on the project. Under this arrangement, the City would sign and hold all prime contracts for the design and construction process but would employ KA to essentially manage the project from conception to completion on our behalf. This approach would be similar to the role that engineering firms such as Kimley Horn (on the Concord Street Reconstruction Project), WSB (on the Concord Exchange Reconstruction Project), and SEH (Well #3 Treatment Plant, various Airport Projects) have served on some of our more significant infrastructure projects in recent years.

Staff is of the consensus that construction management expertise will be absolutely essential if and when the City undertakes this project, given its scale, cost, schedule, and anticipated complexity. Kraus Anderson has served (is serving) in this capacity on similar projects in neighboring communities and previously assisted the City of South St. Paul in a similar capacity in the early 1990s with the Doug Woog (Wakota, at that time) Arena expansion. As proposed, as Construction Management Advisor (CMA), KA would act as the City's advocate and principal project manager throughout the project, by contracting directly with the City for preconstruction and construction phases of the project.

As an initial preconstruction/predesign phase that supplements the BKV/Oertel Study, KA will utilize the information gathered in the Master Planning process as a starting point and prepare alternative concepts and budget estimates for Council consideration. This effort would be intended to demonstrate the "trade-offs" that are possible and acceptable if we were to look at reducing the concept's size, consider constructing over multiple phases, identify other locations, or explore other approaches intended to keep the project as cost-effective as possible.

If, following the predesign phase the City settles upon a preferred design and opts to move forward into design and construction phases, KA would assist in the solicitation and management of a Design Contract for the project. Upon approval of Final Design, KA would assist the City with all statutory bidding and procurement processes for a construction project, review and advise on all contracts, provide on-site construction oversight and supervision, and assist the City with the processing of Payment Applications, Change Orders, and other payment and contract documentation and procedures.

**SOURCE OF FUNDS**

KA has quoted a \$30,000 lump sum fee for all Preconstruction Services (preliminary design and estimating, management of design phase). If, at the City's sole discretion after completion of the preliminary design and budget estimating phase, we choose not to proceed to the Design Phase (and thereby choose not to proceed with the Construction Phase) KA proposes reducing the fee to \$15,000. The Capital Programs Fund would be sourced for the costs related to this phase.

KA has also quoted fees for the Construction Phase at 1.80% of construction costs plus standard hourly rates, which are included below. Without knowing project scope, it is premature to put an exact dollar figure to the fee for this service during the construction phase, but would be estimated at a range of approximately \$225,000 - \$250,000 for a \$15,000,000 total project cost, or between \$450,000 - \$500,000 for a \$30,000,000 total project cost. The CIP identifies City

bond issuance as the source of funds for this project (most likely issuance in 2026).

CONSTRUCTION				
			Start Date:	TBD
			Finish Date:	TBD
0.0	0	0	0	0
Mo.	Wks	Days	Hours	
Description	Quantity	Unit	Unit Cost	Total
Project Executive, Principal in Charge		HRS	\$200	
Senior Project Manager	1	HRS	\$170	
Project Manager		HRS	\$150	
Assistant Project Manager		HRS	\$122	
Project Superintendent	1	HRS	\$147	
General Superintendent		HRS	\$157	
Quality Manager		HRS	\$148	
MEP Specialist		HRS	\$160	
Safety Director		HRS	\$158	
Safety Manager		HRS	\$140	
VDC/BIM		HRS	\$135	
Project Coordinator		HRS	\$74	
Accounting		HRS	\$74	
<b>Subtotal CONSTRUCTION STAFF</b>		HRS		

Above is a standard rate sheet for 2024 staffing. These costs will be included in the budget the City of South St. Paul will be provided. We will develop these openly with the City once a schedule and scope are agreed upon.

**ATTACHMENTS**

1. Kraus-Anderson Proposal - CMA Services (Public Works)



# Public Works Facility

City of South St. Paul

September 11, 2024



**KRAUS-ANDERSON**®

*Building Enduring Relationships and Strong Communities*

September 9, 2024

City of South St. Paul  
Ryan Garcia, City Administrator  
125 Third Avenue North  
South St. Paul, MN 55075

Dear Mr. Garcia,

Kraus-Anderson (KA) is excited to share our experience as you plan for your new public works facility. We are known for delivering high-quality, cost-effective solutions, and look forward to making a positive impact on your community. We're passionate about what we do and we can't wait to show how our expertise and collaborative approach will help make this project successful. As your construction partner, KA brings the following benefits:

**Experienced, Solution-Oriented Team**

Dustin and Ken are highly experienced in managing and executing public works projects, with a proven track record of delivering complex infrastructure and community development initiatives on time and within budget. They excel in navigating regulatory requirements, coordinating with government agencies, and ensuring all stakeholders are engaged. With a deep understanding of the challenges involved, they implement best practices in project management, safety, and sustainability, and provide high-quality results that meet the needs of your community.

**Knowledge of Public Works Projects**

Our team's knowledge comes from successfully completing numerous public works projects, ranging from large-scale infrastructure developments to community-focused initiatives. These projects include public safety facilities, city halls, police and fire stations, public parks, and municipal buildings. Each project has been a testament to our commitment to improving public spaces and infrastructure, ensuring safety, accessibility, and long-term durability. With each endeavor, we have worked closely with local governments and communities to address their specific needs, ensuring that the results positively impact the public and stand as enduring assets for years to come.

**Proven Value Management Process**

Our team employs an extensive value management process that optimizes costs without compromising quality or functionality. From the initial planning stages to project completion, we assess every aspect of the construction process to identify areas where efficiencies can be gained. We evaluate materials, construction methods, and design alternatives to find the most cost-effective solutions that meet project goals. By engaging all stakeholders—clients, architects, engineers, and contractors—early in the process, we make sure that budget-friendly decisions are made without sacrificing performance or safety. This proactive approach consistently results in significant savings and enhanced project outcomes.

We are excited to partner with the City of South St. Paul and help you better serve your community through this new public works facility. Please contact me if you have any questions or need more information.

Sincerely,

KRAUS-ANDERSON® CONSTRUCTION COMPANY



Dustin R. Phillips, Construction Executive  
C: 612-419-9563 | [dustin.phillips@krausanderson.com](mailto:dustin.phillips@krausanderson.com)



## DUSTIN PHILLIPS

Project Director

### ROLE

- » Dustin will have responsibility for the corporate commitment and delivery of all preconstruction and construction services and will ensure the full availability of all KA resources for this project.

### RELEVANT PROJECTS

- » City of Rosemount Police and Public Works Facility
- » City of Oakdale Public Works
- » Blue Earth County Public Works Facility
- » Scott County Public Works Storage Facility
- » Hiawatha Maintenance Facility Expansion
- » St. Croix County Highway Department Campus
- » Village of Baldwin Emergency Medical Services Facility
- » Washington County West Central Service Center
- » Washington County Public Works North Shop Expansion

### EDUCATION

B.S., Construction-Business Administration  
 Masters, Construction Management  
 University of Wisconsin-Stout, Menomonie, WI

### INDUSTRY EXPERIENCE

18 years

## KEN FRANCOIS

Senior Project Manager

### ROLE

- » Ken will support to the project team in the preconstruction, construction, and post construction phases.
- » He will support the analysis and development of all project estimates, value engineering, scheduling, and phasing during the preconstruction phase of the project.

### RELEVANT PROJECTS

- » City of Rosemount Police and Public Works Facility
- » Dunn County Community Services Building Renovation
- » Hiawatha Maintenance Facility Expansion
- » St. Croix County Highway Department Campus
- » Washington County West Central Service Center
- » Wright County Highway Department Building
- » City of Oakdale Public Works

### EDUCATION

B.S., Civil Engineering, University of Wisconsin-Platteville, Platteville, WI

### INDUSTRY EXPERIENCE

21 years



### Wright County Highway Department Facility

Buffalo, MN

The Wright County Highway Department Facility project encompassed 105,000 SF of new buildings, associated site work, and parking.

- **37,703 SF Fleet Maintenance Shop**

Ten maintenance bays, in-floor heating and energy recovery system, indoor car wash, lube/fluids system, 5-ton bridge crane, welding bay with a bridge crane, small engine room, small sign shop, and parts room.

- **54,620 SF Vehicle Storage**

49 parking stalls (17 large truck, 16 snowplow, and 26 semi-truck), a chemical storage room, an engineering and testing room for soil testing and analysis, and a tool storage area.

- **12,640 SF Office Area**

Ten permanent offices and ten flexible workspaces, two large conference rooms, a kitchenette, in-slab heating around the perimeter to free up wall space and make the workspaces more flexible, locker rooms, and showers.





### Rosemount Police + Public Works

Rosemount, MN

Three new buildings on a 20-acre site that includes a 160,000 SF new Police and Public Works facility, a 7,400 SF cold storage building, and a 4,800 SF salt storage building with a total estimated cost of \$60M.

- **Police Facility**

48,000 SF and includes a squad garage for 35 vehicles, an office area that consists of a storm shelter, holding rooms, and a six-lane gun range.

- **Public Works Facility**

112,000 SF and includes a garage for 17 plow trucks and 57 vehicles, office, shops, maintenance area, and wash bay.





### Washington County Public Works North Shop Expansion Stillwater, MN

Expansion of the improved 50-year-old Public Works North Shop facility included:

- **Fleet Services Building**  
Additional 23,000 SF fleet services building housing all maintenance equipment, wash bay, and storage mezzanine area that services over 450 county units from snowplow trucks to patrol cars.
- **Renovation of Existing Fleet Storage**  
A 48,000 SF renovation that included bridge cranes, vehicle lifts, and lubrication systems.
- **Administrative Space**  
30,000 SF of administrative space that includes an office, a kitchen, multiple meeting spaces, and a signs and signals shop that maintains and repairs over 10,000 traffic signs.
- **Site Improvements**  
New parking lots, well, main sanitary sewer, stormwater treatment ponds, and elimination of an on-site septic system.





### St. Croix County Highway Department Campus

Baldwin, WI

KA completed the highway maintenance campus which included three new buildings on a 52-acre site.

- 135,700 SF main maintenance and office building
  - 68,000 SF vehicle storage area includes 82 parking stalls for cars, trucks, plows, graders, and end loaders.
  - 46,000 SF five maintenance bays including parts rooms, two sign shop bays, tool rooms, a mechanic's office, two welding bays, and a 7,700 SF mezzanine storage area.
  - 14,000 SF administrative area
- 60,000 SF unheated storage building for highway equipment
- 24,000 SF salt shed, including a brine-blending system and storage tanks
- KA also completed a county-wide facilities assessment for the Highway Department





### City of Minneapolis - Hiawatha Public Works Campus Expansion

Minneapolis, MN

KA is working on expanding and renovating the Hiawatha Public Works campus. The 16-acre site will include a 26,700 SF office addition and a 16,000 SF vehicle maintenance bay addition to the existing public work building, a three-story, 428-stall parking ramp, 70,000 SF tempered vehicle storage building with 95-fleet vehicle parking, 31,000 SF water department office and shops building, and a new fueling island. The project is planned to be LEED V4 Silver and feature green roofs in select areas, water reduction systems, stormwater control and filtration with a cistern under the parking ramp, solar wall systems to preheat HVAC air, day lighting, and native prairie landscaping. A new training and recruitment center is included as part of the expansion.



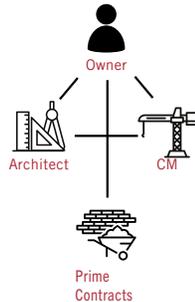


Solution-driven, **KA will join the project team as an engaged, transparent, and collaborative partner.** Our experience and understanding of your project will support the framework for reliable information, streamlined workflow, communication across teams, an environment of trust, and an atmosphere of accountability. Our comprehensive, high-quality preconstruction and construction services will focus on achieving your goals and objectives for your new Public Works facility project.

## Construction Management Advisor (CMA)

### What does CMA Mean?

- » Separate contract for design and construction
- » Owner signs and holds prime contracts
- » CM acts as the owner's advocate
- » CM manages prime contractors and construction
- » Allows for the early release of bid packages to accommodate long-lead times for critical items
- » KA will review each contract with the owner and help process the execution of contracts



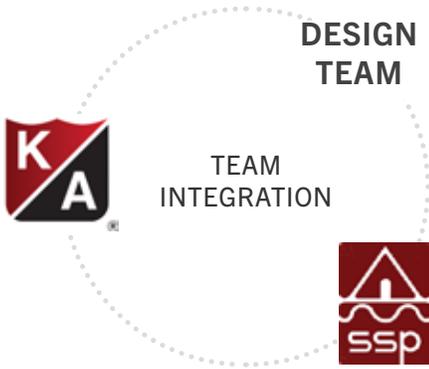
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## Project Delivery Plan

Our project delivery plan begins with understanding your scope and expectations and defining the parameters of your project options. As project planning evolves, KA will provide the team with detailed constructability reviews, forward-looking construction strategies, phasing, value engineering ideas, project scheduling, and precise cost management throughout the project's life cycle.

## PRECONSTRUCTION PHASE SERVICES

Project success cannot happen without successful preconstruction activities. This team has the proven experience to successfully estimate and provide key information to keep the project on track. We start by creating an Overall Budget Summary that tracks both hard and soft costs, encompassing all aspects of the project. Done in partnership with the City and the design team, the document is then updated and referred to throughout the project for accountability of pricing efforts.



*Estimating is a collaborative effort. We will meet with the design team routinely during these estimates to confirm assumptions and provide clarifications. At each estimate, KA will present the numbers to City staff in a transparent, open-book process.*

**Estimating and Budgeting**

KA will use a total cost management process to support the City and design team in aligning project scope and design with the available budget. As a team, we apply a collaborative approach that prioritizes the functional, aesthetic, and operational goals set forth by the City giving transparency and clarity around the project’s component and system costs. This approach provides all stakeholders with the information needed to make sound decisions early enough in the project planning to maximize value and avoid costly rework late in design or during construction.

As the project moves into the Design Development phase, KA will provide critical input on the major building components and systems concerning availability, constructability, and cost. With many specialty systems planned for the project (i.e., MEP configurations, in-floor or mobile, structure types, lube systems, fuel systems, heating systems, wash bays, security and surveillance systems, etc.), we will pay close attention to safety, timelines for bidding, engineering, production, and delivery of said systems. This may require analysis of alternatives to meet the project goals, including performance, aesthetics, timing, and cost.



# PROJECT APPROACH



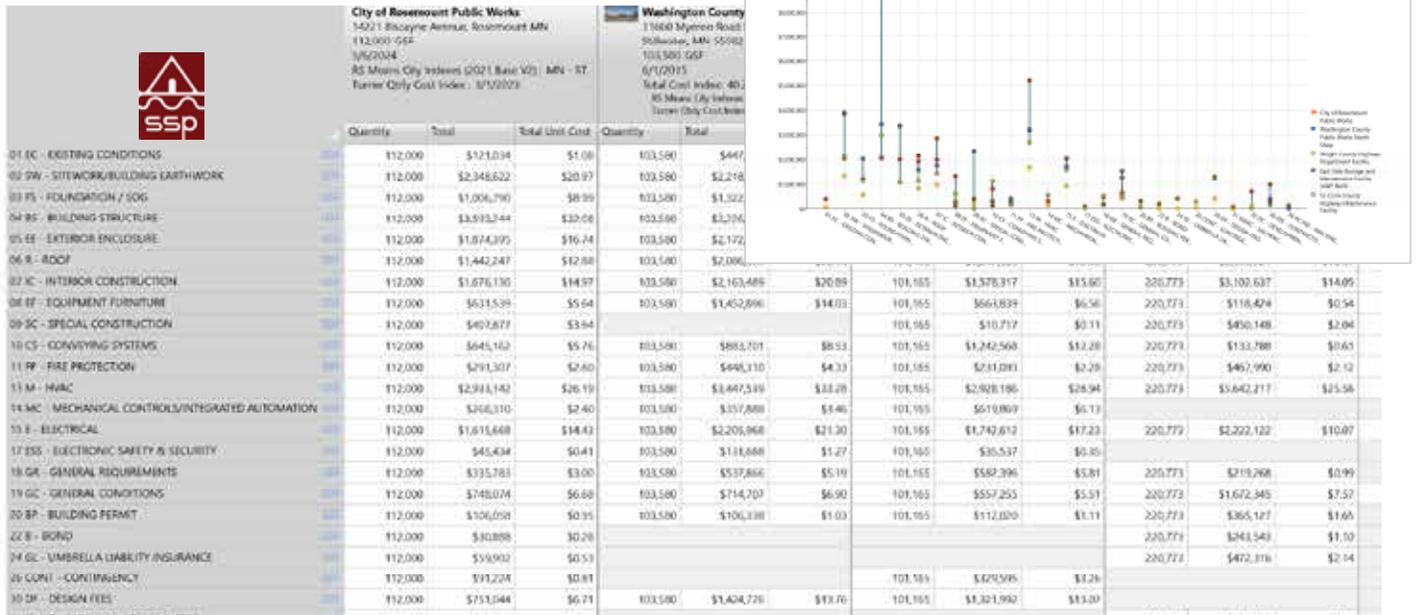
A closely collaborative approach to design and construction is critical to delivering successful projects such as this. KA has a proven track record of providing critical cost and constructability feedback to our clients and design partners and takes great pride in delivering that feedback at the right time to drive value. KA will provide the City and design team with reliable cost data based on real-time feedback from key trade partners and material vendors, as well as valuable insights on risk versus value for key project components and appropriate alternatives.

KA, in collaboration with the design team, will provide the City with comparable costs from other recent public works projects in the region to assist in making the most cost-efficient and effective decisions.

Below is an example of how we utilize comparable projects with the City's current design to see how costs are proving out for the City to determine how they desire to move forward.

We will help you evaluate various facility options by providing comprehensive value management and cost estimating services tailored to your current site or a potential new location.

## MODELOGIX EXAMPLE





## VALUE ENGINEERING

Pivotal to controlling costs is maximizing the value of each component system in a building. Our team employs concurrent design, estimating, and document review processes. This allows the team to better understand the program and the designers' intent and offer solutions to align your program, budget requirements, and construction approach with actual costs in the marketplace. Critical areas are identified where further clarification and detail are required. We provide up-front recommendations regarding the phasing of the work, installation issues, long-term performance, and value engineering options.



### VALUE ENGINEERING SOLUTIONS - PROVIDING SAVINGS TO LAKE COUNTY:

- Owner provided parking lot bituminous paving: *Saved \$298,000*
- Owner provided all granular fill and Class 5: *Saved \$149,000*
- Eliminated on-site fencing and gates: *Saved \$71,000*



## LAKE COUNTY HIGHWAY DEPARTMENT FACILITY

Two Harbors, MN

53,873 SF new highway department maintenance facility on a 20-acre site, including a 22,100 SF vehicle storage area, a 12,610 SF vehicle repair/storage/wash area with three maintenance/repair bays, a wash bay, and a welding bay, tool room, and parts room, 8,763 SF administrative area, 5,500 SF mezzanine, and 4,900 SF second-floor unfinished future office.



## IN-HOUSE TECHNICAL RESOURCES

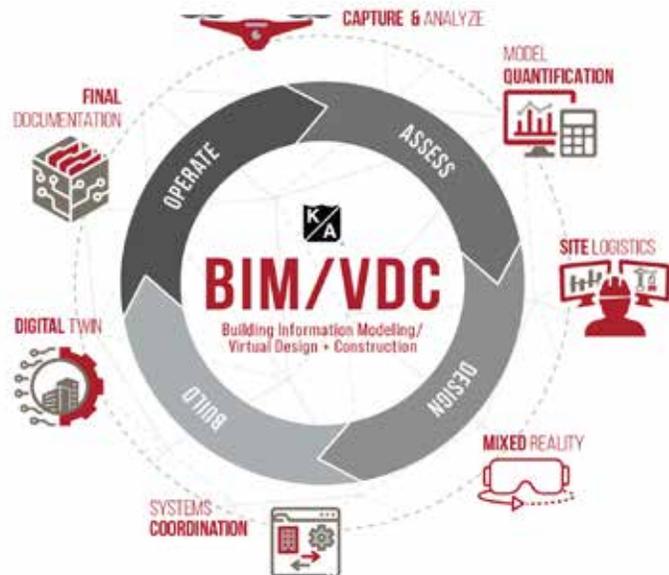
Our in-house technical team members bring expertise and tools to help us understand existing building conditions, tie-ins to new construction, and provide viable options and solutions.

**Building Science:** Jon Porter, Director of Building Science, will examine the project's means and methods, constructability, building materials technology, workflow and sequencing, proper installation techniques, and testing and acceptance protocols. Jon's expertise brings value, particularly in understanding and ensuring the integrity of the building's enclosure.

**Mechanical and Electrical Systems Reviews:** Mechanical and electrical systems will be a key project component for cost and value impact. Our MEP team will lead M&E systems review and coordination for cost estimating, value engineering, constructability reviews, and phasing/sequencing.

**BIM/VDC:** Building Information Modeling (BIM) and Virtual Design and Construction (VDC) are tools and capabilities KA utilizes to improve the project delivery process for all project stakeholders. These tools will provide essential information and data for planning and managing project collaboration, help estimate costs, track progress, minimize waste, and optimize risk management.

- » Data Management
- » Model Quality Assurance/Quality Control
- » 4D (Schedule)/5D (Cost) Development
- » Model-Based Quantity Take-Offs
- » Clash Detection
- » Project Planning (Site Logistics/Phasing)
- » Reality Capture (Laser scanning/drones/360-degree photos)
- » Project Closeout



## TECHNOLOGY TOOLS

**Modelogix/WinEst:** Along with our experienced team, these technologies are the backbone of our continuous estimating and proven project pricing to ensure accurate budgets from the start.

**Autodesk Build:** This is considered one of the best communication tools in the industry. It allows for real-time communication so that all trades and members of the project team are working off the same plans, housing all key, up-to-date project information, including plans, specifications, shop drawings, product information, Requests for Information (RFI), Potential Change Orders (PCO), Change Orders (CO), punch lists, observation reports, daily project logs, progress photos, and many other project-specific items.



### PROJECT BUDGET

This team has the proven experience to keep your project on track. We start by establishing the Overall Project Budget that tracks both hard and soft costs, encompassing all aspects of the project. This is done in partnership with the City and the design team. The document is then updated and referred to for accountability of pricing efforts throughout the project.

### COST CONTROL

KA's construction administration is focused on open communication and transparency. KA employs financial and project management systems to provide critical information to the project team to evaluate project status and make well-informed decisions.

We will carefully manage the workflow and information through a direct and efficient interface with your staff and designers. We will prepare weekly progress meetings and detailed reports for the team on each subcontractor's work and overall financial management of their portion of the project. Billing, cash flow projections, and job cost reports are included in our monthly reporting, ensuring we are on top of your budget through every step of the project.

### BIDDING

KA will prepare a procurement plan that identifies every trade item required to complete the project and the dates when procurement action must be initiated and completed. This procurement plan will consider long-lead items, schedule implications, budget information, and how the intended procurement is consistent with the project goals.

Additionally, bid packages will include project-specific construction requirements for logistics, scheduling, safety and coordination, inspections, shop drawings, and submittals.

Scopes and bid packages will be developed to provide the best opportunities for inclusion of local subcontractors.

Pre-bid meetings will be organized for general project information, as well as for specific trade packages. We will conduct meetings as an important element of the procurement phase to familiarize potential vendors and subcontractors with the scope of work required. KA will manage the competitive bidding process.

### DISRUPTION AVOIDANCE PLANNING

KA has worked on many projects with similar components to your new Public Works facility project. We will work with the City to develop construction logistics and phasing as needed to safely and efficiently interface with the community. For example, our team can work with the City to design detailed plans for construction phasing, noise mitigation, temporary shutdowns, and maintenance of HVAC/electrical/life safety systems during construction. An emergency management plan will be developed with the City for construction or operational emergencies. We will work with the City to develop a communication plan that interfaces with all stakeholders and the public.





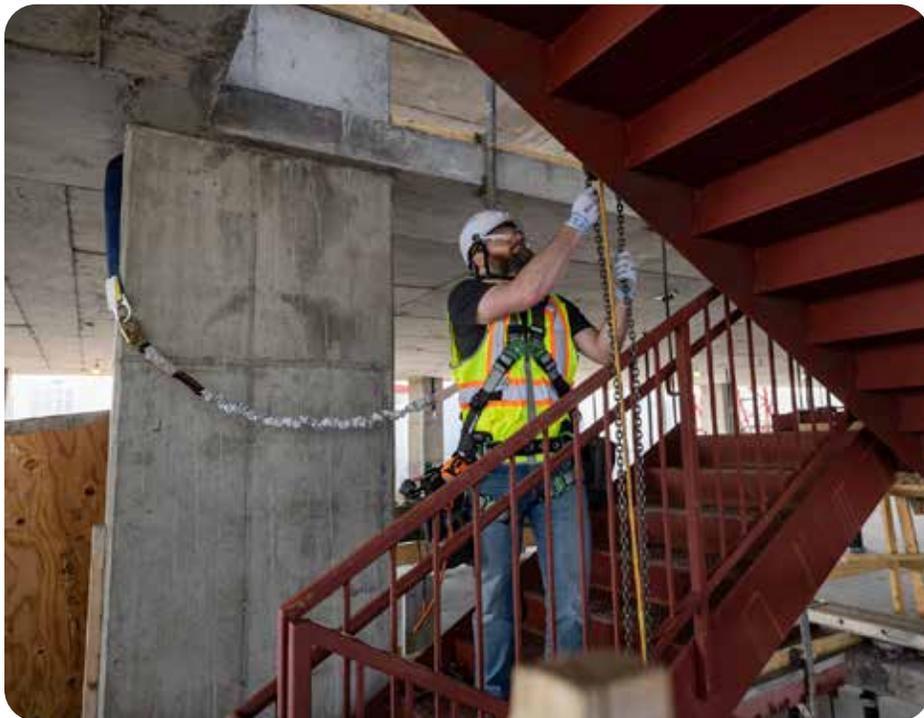
**SITE CONTROL AND SAFETY**

We will assign a full-time Project Superintendent to organize and supervise all construction activities. In conjunction with Senior Project Manager Ken Francois, they will coordinate the scheduling of the subcontractor’s work, ensuring requirements of the overall schedule is met and no delay-related or other claims are presented to the City due to ineffective management, scheduling, or planning.

They will be responsible for quality and safety program compliance with assistance from Jay Vander Leest, Director of Safety. They will monitor all deliveries of materials, subcontractor progress and measure physical completion of work, both in conjunction with each subcontractor’s invoicing procedures and at greater frequencies when needed. They ensure that each subcontractor has the appropriate staffing to meet schedule requirements.

KA strives for zero injuries on every project through good management, utilization of resources, a proactive approach to safety, a solid supervisory presence, and hazard assessments. Our goal is to provide staff, visitors, KA employees, subcontractors, and vendors working on or visiting the project site with a safe experience that meets expectations and guidelines.

KA has a formal, written Safety and Health Program that addresses general safety and OSHA standards and guidelines. Our program will incorporate all applicable federal, state, and local regulations.



**SITE LOGISTICS**

- » **Good Neighbor**  
Understand the constraints construction may place on neighboring communities.
- » **Construction Access**  
Focus on controlling access points to the site to prevent disruption on surrounding roads.
- » **Construction Efficiency**  
Try to keep staging and parking on site.



**Experience Modification Rate (EMR)**

KA has been recognized annually since 1991 for our excellent safety record that consistently ranks within the top tier of construction firms nationally.

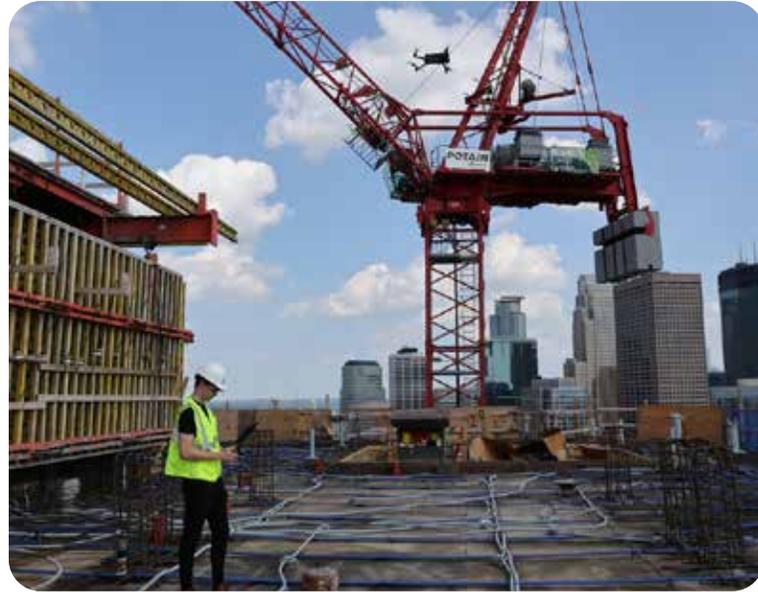
KA is proud of its safety accomplishments and our safety record. Our EMR rating of 0.66 places us within the top tier of construction firms nationally.

## PROJECT APPROACH



### MANAGING THE CONSTRUCTION PROCESS

Senior Project Manager Ken Francois will be the primary point of contact, offering the City a single, committed line of communication from preconstruction to operation. He will serve as a conduit between the City, the design team, and the project team and seek cost and schedule efficiencies. During preconstruction, he will provide budgeting, value management, constructability review, schedule development, logistics, and safety planning. During construction, Ken will provide the project's day-to-day management, including monitoring the schedule and budget. Specific tasks include daily supervision and overall coordination of the project; coordination of estimating, engineering, accounting, cost control, and construction functions; master progress schedule updates; leading team meetings; contract and subcontract documents; quality control objectives; direction of field and office staff; and project closeout.



### PROJECT SUPERVISORY APPROACH

KA will provide a full-time, on-site Project Superintendent that will provide project oversight and maintain safety, quality, and schedule. Along with Jay Vander Leest, KA's Safety Director, they will be responsible for quality and safety program compliance. They will also monitor all deliveries of materials, contractor progress and measure the physical completion of work, in conjunction with contractor's invoicing procedures. They will ensure that each contractor has the appropriate staffing to meet schedule requirements.

KA's experienced project teams work collaboratively to maximize safety and productivity throughout construction, including site logistics, communication management, and disruption avoidance. We are committed to creating value for all project stakeholders every step of the way.

During preconstruction, our Superintendent will provide valuable insight and knowledge for constructability review, schedule, quality, and safety planning. During construction, he/she will be on-site full-time and responsible for the day-to-day supervision and management of all construction activities associated with the New Public Works Facility project and be the direct contact for the City and the community concerning logistics and construction activities.





## SUBCONTRACTOR MANAGEMENT

### Preconstruction Phase

To maintain your best interests on this project, all trade work will be competitively bid and awarded to qualified subcontractors who can meet the schedule, safety, quality, and cost requirements.

***We plan to competitively bid out 100% of the trade work for your project.***

### Local Participation

Working with local subcontractors not only benefits your community but can also lead to a smoother project execution because of their knowledge of local and regional conditions and resources.

We will work diligently to engage and vet local subcontractors to obtain and incorporate their bids. Our bidding process is fair, transparent, and compliant with all relevant laws and regulations.



**St. Anthony Public Works**  
St. Anthony, MN



**Waconia Public Works**  
Waconia, MN



## QUALITY ASSURANCE/QUALITY CONTROL

Working with the City and design team, KA will define the essential quality activities and resources for the unique construction of your project. We will ensure appropriate quality standards, design, and sustainability goals and incorporate a process to address them.

We achieve this by:

- » Reviewing and understanding the project requirements.
- » Determining key stakeholders and decision-makers.
- » Setting the project goals and aligning them with the expectations of the City and design team.

- » Utilizing KA's experienced in-house technical support professionals who specifically focus on and support the team with specialized needs.
- » Reviewing the project documents and providing feedback to the design team. We will identify areas requiring clarification, highlight discrepancies, and provide timely recommendations regarding constructability, long-term building performance, and value-engineering options.



## COST REPORTING AND TRACKING

KA maintains an open-book accounting system and fiscal controls that accurately account for, manage, track, and report costs to support financial services like billing. Our sophisticated project management capabilities provide responsive, accurate financial data for review by the City, ensuring that the GMP is maintained through the duration of the project.

## COST SAVINGS APPROACH

KA's philosophy is to return 100% of savings to our clients.



## POST-OCCUPANCY APPROACH

We believe that transitioning responsibility and knowledge over time will better serve the City taking control of the new facility. Contractors will work to train staff on new systems, assist the City and staff through any troubleshooting, coordinate training of the facility and maintenance staff by technical professionals, collect and inventory additional materials, and be the primary resource for the City. It is our commitment to support the City, not only through project turnover but also through the one-year call-back period.



“KA’s team has stepped up to every challenge and provided a solution for us. This is a reflection on the experience, knowledge, and practical, critical thinking your staff brings to the table.”

- Don Theisen, Director of Public Works (retired), Washington County

## PUNCH LIST, WARRANTY, AND CLOSEOUT

**Punch List** - KA starts working on the punch list long completing project. We regularly communicate with the contractors to confirm that their work meets the team’s expectations. As the substantial completion nears, KA will perform our pre-punch with the contractors to address any outstanding issues before substantial completion, as well as the City and design team’s punch list walk-throughs. KA will work with the team and contractors to confirm that all deficiencies are addressed promptly. KA utilizes Autodesk to facilitate all punch list activities and will provide the City and design team with the necessary devices to perform their punch list inspections.

**Warranty** - KA will assist with coordinating all warranty-related items through the one-year call-back period. If the need arises for warranty work, we will assist the City with involved material/equipment suppliers and trade contractors. KA standard practice is to perform an 11-month base-building/public space walk-through with City staff and the design team to confirm the building performs properly and close out the 1-year workmanship warranty. Should items arise, we will again coordinate all items through completion and provide a detailed checklist for your review and approval.

**Closeout** - During the preconstruction phase, we will prepare the necessary schedules to define the project closeout activities. This ensures that all appropriate parties are ready for final inspections and occupancy. Upon project completion, we will walk through your facility with your maintenance personnel to direct the check-out of utilities, systems, and equipment for readiness. We will also assist in the initial commissioning, start-up, and testing by the trade contractors. We will also secure and transmit the required guarantees, affidavits, releases, bonds, and waivers from the contractors, along with operating manuals, records, and as-built drawings in hard copy and electronic format to the City.



## KA'S UNIQUE STRENGTHS

### OPEN-BOOK TRANSPARENCY

Over 80% of our CM work is repeat- or referral-based, and we know it all starts with trust. Transparency is a cornerstone of trust and our team delivers with integrity. You will receive regular financial and schedule updates throughout the project, and upon request at any time.

### OWNER ADVOCATE

It is more than just construction. As your advocate, we are responsible for ensuring project success on all fronts. This is a team effort requiring informed decisions.

### TEAM SYNERGY

This team embodies our core purpose of **building enduring relationships and strong communities** with **integrity, commitment, teamwork, and valuing people**. It is our people who truly earn our ranking in the *Star Tribune's Top 150 Workplaces* for over ten years running.

## COMPREHENSIVE TEAM COMMUNICATION

Communication is arguably the single most important thing KA does as a CM. KA will engage the City, the Public Works department, all stakeholders, and the design team in an interactive, transparent, and collaborative design and preconstruction process. Our process begins with understanding your scope and expectations and defining the parameters of your project options. As project planning evolves, KA will provide the City and the design team with detailed constructability reviews, forward-looking construction strategies, phasing, value engineering ideas, project scheduling, and detailed cost estimating throughout the life cycle of your project.

Concise and clear communication is pivotal to a successful project. We employ a proactive, transparent, and collaborative format to establish open communication between the City and stakeholders, the design team, KA, the project team, and the community.

**Communication Opportunities Council Meetings/ Workshops:** KA will update the Council in-person or virtually as needed. Updates typically consist of a high-level progress update and photos or videos of work completed to date.

- » **KA Client Portal:** a single, collaborative destination for our clients to conveniently access relevant client applications and securely store and exchange project information before, during, and long after project delivery.
- » **Construction Update Website:** At KA, we use Adobe Express pages to provide an always-available update that stakeholders can access via link or QR code.



Scan or click the QR code to view the Adobe Express page for each project.

**Exhibit 1 - CM Site Services & Fee  
Kraus-Anderson Construction  
City of South St. Paul Public Works**

<b>PRE-CONSTRUCTION</b>				
		Start Date:		Sept/Oct 2024
		Finish Date:		Dec-2025
	14.0	61	303	2427
	Mo.	Wks	Days	Hours
Description	Quantity	Unit	Unit Cost	Total
Project Executive, Principal in Charge	0	HRS	\$200	\$ -
Senior Project Manager	120	HRS	\$170	\$ 20,420
Project Manager	60	HRS	\$150	\$ 9,009
Preconstruction Manager/Estimator	220	HRS	\$150	\$ 33,033
Quality Manager	24	HRS	\$148	\$ 3,591
MEP Coordinator	24	HRS	\$160	\$ 3,883
Project Coordinator	61	HRS	\$74	\$ 4,489
<b>Subtotal PRECONSTRUCTION STAFF</b>	<b>510</b>	<b>HRS</b>		<b>\$ 74,426</b>
<b>Discounted PRECONSTRUCTION RATE</b>				<b>\$ 30,000</b>

KA is providing a roughly \$45K discount for preconstruction services based on our involvement with the master planning efforts for this project. KA will provide all support necessary for concept evaluations, estimating, budgeting, scheduling and bidding. Should the job stop at the end of preliminary design concept evaluations KA will only ask for half of the amount listed above- \$15K.

<b>CONSTRUCTION</b>				
		Start Date:		TBD
		Finish Date:		TBD
	0.0	0	0	0
	Mo.	Wks	Days	Hours
Description	Quantity	Unit	Unit Cost	Total
Project Executive, Principal in Charge		HRS	\$200	
Senior Project Manager		HRS	\$170	
Project Manager		HRS	\$150	
Assistant Project Manager		HRS	\$122	
Project Superintendent		HRS	\$147	
General Superintendent		HRS	\$157	
Quality Manager		HRS	\$148	
MEP Specialist		HRS	\$160	
Safety Director		HRS	\$158	
Safety Manager		HRS	\$140	
VDC/BIM		HRS	\$135	
Project Coordinator		HRS	\$74	
Accounting		HRS	\$74	
<b>Subtotal CONSTRUCTION STAFF</b>		<b>HRS</b>		

Above is a standard rate sheet for 2024 staffing. These costs will be included in the budget the City of South St. Paul will be provided. We will develop these openly with the City once a schedule and scope are agreed upon.

<b>REIMBURSABLES</b>				
Job Site Office Trailer	0.0	MOS		
Office Equipment & Supplies	0.0	MOS		
Travel and Expenses	0.0	MOS		
Pick-up Truck & Tools - Supt	0.0	MOS		
<b>Subtotal CONSTRUCTION STAFF</b>				

Reimbursable Expenses are estimated to be around \$7,000/month.

<b>FEE</b>				
<b>Subtotal CONSTRUCTION MANAGEMENT FEE</b>	TBD		1.80%	
Fee percentage will be applied to the cost of work as defined in the contract.				



Washington County Public Works  
North Shop Expansion

**MINNESOTA**

**Minneapolis**

501 South Eighth Street  
Minneapolis, MN 55404  
612-332-7281

**Bemidji**

206 Beltrami Avenue  
Bemidji, MN 56601  
218-759-0596

**Duluth**

2000 West Superior Street  
Suite 101  
Duluth MN, 55806  
218-722-3775

**Rochester**

502 2nd Avenue SW  
Rochester, MN 55902  
507-226-8690

**NORTH DAKOTA**

**Bismarck**

1815 Schafer Street  
Suite 200  
Bismarck, ND 58501  
701-989-7150

**Fargo**

1100 NP Avenue  
Suite 201  
Fargo, ND 58102  
701-699-0699

**WISCONSIN**

**Madison**

151 East Wilson Street  
Suite 100  
Madison, WI 53703  
608-838-5444

**Milwaukee**

126 North Jefferson Street  
Suite 402  
Milwaukee, WI 53202  
414-216-7249

**ARIZONA**

**Phoenix**

1401 North 24th Street  
Phoenix, AZ 85008  
480-899-3240

**ROC 102058**



[www.krausanderson.com](http://www.krausanderson.com)

Kraus-Anderson is an EEO/AA Employer.



# CITY COUNCIL AGENDA REPORT

**DATE:** November 4, 2024  
**DEPARTMENT:** City Clerk  
**PREPARED BY:** Deanna Werner  
**AGENDA ITEM NUMBER:** 8.I.

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## **MEETING TYPE**

Regular Meeting

## **AGENDA ITEM**

### **ACTION TO BE CONSIDERED OR DESIRED OUTCOME**

Approval of Resolution 2024-131, Acknowledging a Lawful Gambling Exempt Permit for Holy Trinity Catholic Church

## **OVERVIEW**

Holy Trinity Catholic Church is applying for an exempt permit for lawful gambling from the Minnesota Gambling Control Board to conduct charitable gambling (50/50 raffle) at an event on December 24, 2024.

The application for an Exempt Permit, (LG220) form has been reviewed and staff recommends approval of Resolution No. 2024-131.

## **SOURCE OF FUNDS**

N/A

## **ATTACHMENTS**

1. Resolution 2024-131

City of South St. Paul  
Dakota County, Minnesota

**RESOLUTION NO. 2024-131**

**RESOLUTION CONCURRING WITH ISSUANCE OF A MINNESOTA LAWFUL  
GAMBLING EXEMPTION PERMIT TO CONDUCT GAMBLING BY THE  
HOLY TRINITY CATHOLIC CHURCH**

**WHEREAS**, the Holy Trinity Catholic Church has made application for an Lawful Gambling Exempt Permit to the Gambling Control Board to conduct gambling in the form of a 50/50 raffle, to be conducted on December 24, 2024; and

**WHEREAS** the City has no objection to said activity.

**NOW, THEREFORE, BE IT RESOLVED** that the South St. Paul City Council hereby concurs with the issuance of an Exempt Permit for Lawful Gambling by the Gambling Board to the Holy Trinity Catholic Church on December 24, 2024, in South St. Paul, Minnesota.

Adopted this 4th day of November 2024.

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City Clerk



# CITY COUNCIL AGENDA REPORT

**DATE:** November 4, 2024  
**DEPARTMENT:** Finance  
**PREPARED BY:** Jeff Hines  
**AGENDA ITEM NUMBER:** 9.A.

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## **MEETING TYPE**

Regular Meeting

## **AGENDA ITEM**

### **ACTION TO BE CONSIDERED OR DESIRED OUTCOME**

Motion to adopt Resolution No. 2024-128, certifying delinquent charges to the Dakota County Auditor for collection with the property taxes payable in 2025.

### **OVERVIEW**

Chapter IX of the City of South St. Paul Municipal Code stipulates that invoices for City services to specific properties which are delinquent may be certified to the County for collection with the coming year's property taxes. The Code specifies that such charges be certified as a special assessment under Minnesota Statutes, §429.101 and other pertinent statutes.

The owners of the properties described on the attached list received various services from the City or were cited for violation of City code enforcement regulations this past year. They were sent invoices at the time of the service or violation by the Finance Department. The Finance Department subsequently sent delinquent statements after the original billing. Recently, both published and mailed notice was given pursuant to Minnesota Statute §429.061 stating that the hearing is to be held thereon the 4<sup>th</sup> day of November 2024 at which time all persons desiring to be heard will be given an opportunity to be heard. The attached report details the nature of each of the delinquent invoices.

### **SOURCE OF FUNDS**

N/A

### **ATTACHMENTS**

1. Resolution 2024-128

City of South St. Paul  
Dakota County, Minnesota

**RESOLUTION NO. 2024-128**

**RESOLUTION CERTIFYING UNPAID CHARGES TO THE COUNTY AUDITOR**

**WHEREAS**, Chapter IX of the Municipal Code of the City of South St. Paul authorizes the certification of unpaid charges to the County Auditor for collection with real estate taxes; and;

**WHEREAS**, invoices to 38 properties remain unpaid; and both published and mailed notice was given pursuant to Minnesota Statue §429.061 stating that the hearing is to be held thereon the 4<sup>th</sup> day of November 2024 at which time all persons desiring to be heard were given an opportunity to be heard; and

**WHEREAS**, the City has sent a letter to the property address of each delinquent account notifying them of the details of the pending certification and allowing payment to be made before certification; and

**NOW, THEREFORE, BE IT RESOLVED:** that an interest charge of 8% be added to the amount of each account to be certified; and

**BE IT FURTHER RESOLVED** that city staff be directed to certify to the County Auditor the unpaid charges listed in Attachment A.

Adopted this 4<sup>th</sup> day of November, 2024.

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Deanna Werner, City Clerk

Resolution 2024-128

Attachment A

SA# 360552

	ADDRESS	CERTIFICATION AMOUNT	For	Property ID #
218	FROST ST W	\$567.00	CODE VIOLATIONS/ADMIN CITATIONS	36-71500-44-260
342	1ST AVE S	\$1,242.00	CODE VIOLATIONS/ADMIN CITATIONS	36-64300-16-200
112	8TH AVE S	\$4,752.00	CODE VIOLATIONS/ADMIN CITATIONS	36-32550-01-270
914	16TH AVE N	\$1,242.00	CODE VIOLATIONS/ADMIN CITATIONS	36-30600-01-120
112	HOMER ST	\$2,160.00	CODE VIOLATIONS/ADMIN CITATIONS	36-62760-01-110
756	1ST AVE S	\$54.00	CODE VIOLATIONS/ADMIN CITATIONS	36-46000-03-150
1358	8TH AVE S	\$54.00	CODE VIOLATIONS/ADMIN CITATIONS	36-33000-00-100
128	4TH AVE S	\$540.00	CODE VIOLATIONS/ADMIN CITATIONS	36-32550-09-230
216	5TH AVE S	\$540.00	CODE VIOLATIONS/ADMIN CITATIONS	36-32550-07-260
851	8TH AVE S	\$540.00	CODE VIOLATIONS/ADMIN CITATIONS	36-46000-12-190
203	14TH AVE S	\$540.00	CODE VIOLATIONS/ADMIN CITATIONS	36-83900-10-295
213	PARK ST W	\$162.00	CODE VIOLATIONS/ADMIN CITATIONS	36-65820-02-120
113	3RD AVE S	\$3,672.00	CODE VIOLATIONS/ADMIN CITATIONS	36-30600-020-10
956	17TH AVE N	\$715.50	CODE VIOLATIONS/ADMIN CITATIONS	36-30600-020-10
613	14TH AVE N	\$54.00	CODE VIOLATIONS/ADMIN CITATIONS	36-70207-01-120
212	10TH AVE N	\$243.00	CODE VIOLATIONS/ADMIN CITATIONS	36-72650-01-190
703	16TH AVE N	\$1,107.00	CODE VIOLATIONS/ADMIN CITATIONS	36-70208-04-290
457	9TH AVE S	\$54.00	CODE VIOLATIONS/ADMIN CITATIONS	36-64300-02-150
1640	CONCORD ST S	\$378.00	CODE VIOLATIONS/ADMIN CITATIONS	36-45300-09-150
252	1ST AVE S	\$540.00	CODE VIOLATIONS/ADMIN CITATIONS	36-32550-15-170
1224/1226	8TH AVE S	\$297.00	CODE VIOLATIONS/ADMIN CITATIONS	36-32100-05-080
406	STANLEY AVE	\$2,943.00	CODE VIOLATIONS/ADMIN CITATIONS	36-72800-03-041
230	11TH AVE N	\$162.00	CODE VIOLATIONS/ADMIN CITATIONS	36-72650-022-30
1563	WILLIS AVE	\$108.00	CODE VIOLATIONS/ADMIN CITATIONS	36-49100-02-050
203	18TH AVE N	\$2,808.00	CODE VIOLATIONS/ADMIN CITATIONS	36-42500-03-051
136	10TH AVE N	\$499.50	CODE VIOLATIONS/ADMIN CITATIONS	36-26100-01-263
400	4TH AVE S	\$54.00	CODE VIOLATIONS/ADMIN CITATIONS	36-64300-10-300
209	6TH AVE S	\$486.00	CODE VIOLATIONS/ADMIN CITATIONS	36-32550-07-030
548	6TH AVE S	\$918.00	CODE VIOLATIONS/ADMIN CITATIONS	36-75100-03-190
1579	STICKNEY AVE	\$270.00	CODE VIOLATIONS/ADMIN CITATIONS	36-45400-01-181
115	5TH AVE N	\$162.00	CODE VIOLATIONS/ADMIN CITATIONS	36-70300-18-090
497	FARWELL AVENUE	\$216.00	CODE VIOLATIONS/ADMIN CITATIONS	36-03800-00-043
6	OAKRIDGE DR	\$1,242.00	CODE VIOLATIONS/ADMIN CITATIONS	36-19901-01-030
126	2ND AVE S	\$54.00	CODE VIOLATIONS/ADMIN CITATIONS	36-32550-13-230
1560	WILLIS AVE	\$1,944.00	CODE VIOLATIONS/ADMIN CITATIONS	36-49100-01-210
346	11TH AVE S	\$162.00	CODE VIOLATIONS/ADMIN CITATIONS	36-63000-03-120
709	21ST AVE N	\$54.00	CODE VIOLATIONS/ADMIN CITATIONS	36-76800-02-230
837	2ND AVE S	\$3,240.00	CODE VIOLATIONS/ADMIN CITATIONS	36-17250-00-030
<b>TOTAL ASSESSMENT</b>		<b>\$34,776.00</b>		



# CITY COUNCIL AGENDA REPORT

**DATE:** November 4, 2024  
**DEPARTMENT:** Engineering  
**PREPARED BY:** Nick Guilliams  
**AGENDA ITEM NUMBER:** 9.B.

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## **MEETING TYPE**

Regular Meeting

## **AGENDA ITEM**

### **ACTION TO BE CONSIDERED OR DESIRED OUTCOME**

Adopt Resolution 2024-126 RESOLUTION ADOPTING THE ASSESSMENT ROLL FOR CONCORD EXCHANGE IMPROVEMENT PROJECT NO. 2024-01.

### **OVERVIEW**

The City will hold a public hearing to review and confirm the proposed assessments for local improvements related to the Concord Exchange Improvement Project No. 2024-01, in accordance with Minnesota Statutes Chapter 429. The assessment rates have been established based on the City's adopted Assessment Policy. The proposed interest rate is set at 5 percent, to be paid over 10 years, starting in 2025.

All affected property owners were mailed notices prior to the assessment hearing. Additionally, several large-scale items were constructed after the notifications were sent, leading to a revision of the original contract cost from \$4,320,000 to a projected final construction cost of \$3,996,000.

### **SOURCE OF FUNDS**

No fiscal impact at this time.

### **ATTACHMENTS**

1. 2024-126 Concord Exchange adopt assmnt roll
2. 2024-01 Final Assessment Roll - Concord Exchange

**RESOLUTION NO. 2024-126**

**RESOLUTION ADOPTING THE ASSESSMENT ROLL  
FOR CONCORD EXCHANGE IMPROVEMENT PROJECT NO. 2024-01**

**WHEREAS**, pursuant to proper notice duly given as required by law, the Council has met and heard and passed upon all objections to the proposed assessments for Concord Exchange Improvement Project No. 2024-01. This project includes the following improvements to Concord Exchange from the northern Concord Street N access to the southern Concord Street N access (6<sup>th</sup> Street East): Street rehabilitation and reconstruction including but not limited to; concrete sidewalk and curb removal, grading, gravel base, storm sewer replacement, sanitary sewer improvements, watermain improvements, concrete curb & gutter, concrete sidewalk, streetscape amenities, street lighting, bituminous surfacing, and restoration and appurtenances.

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of the City of South St. Paul, Minnesota, as follows:

1. Such proposed assessment, a copy of which is attached hereto and made a part hereof, is hereby accepted and shall constitute the special assessment against the lands named therein, and each tract of land therein included is hereby found to be benefited by the proposed improvement in the amount of the assessment levied against it.
2. Such assessment shall be payable in equal installments over a period of ten years, the first installment to be payable on or before the first Monday in January 2025 and shall bear interest at the rate of 5% per annum 30 days from the date of the adoption of this assessment resolution. To the first installment shall be added interest onto the entire assessment from the date of this resolution until December 31, 2025. To each subsequent installment, when due, shall be added interest for one year on all unpaid installments.
3. The owner of any property so assessed may, at any time prior to certification of the assessment to the county auditor, pay the whole, or any part, of the assessment on such property, with interest accrued to the date of payment to the City Clerk except that no interest shall be charged on any portion of the assessment that is paid within 30 days from the adoption of this resolution; and the owner may, at any time thereafter, pay to the County Treasurer the entire amount of the assessment remaining unpaid, with interest accrued to December 31 of the year in which such payment is made. Such payment must be made before December 4, 2024, or interest will be charged through December 31 of the next succeeding year.
4. The City shall forthwith transmit a certified duplicate of the assessment to the county auditor to be extended on the proper tax lists of the county, and such assessment shall be collected and paid over in the same manner as other municipal taxes.

Adopted this 4<sup>th</sup> day of November, 2024

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City Clerk

PROPERTY OWNER	PROPERTY OWNER ADDRESS	City etc	PROPERTY ADDRESS	City etc2	PID NO.	ASSESSABLE FOOTAGE (FT)	ASSESSMENT PER FRONT FOOT	TOTAL ASSESSMENT
CITY OF SOUTH ST PAUL	125 THIRD AVE N	SOUTH SAINT PAUL MN 55075			367285003232	PARCEL NOT BUILDABLE		
DRS INVESTMENT VILLC	5353 WAYZATA BLVD STE 211	SAINT LOUIS PARK MN 55416	161 CONCORD EXCHANGE N	SOUTH ST PAUL MN 55075	367285006080	262	\$90.40	\$23,684.80
SOUTH ST PAUL ECONOMIC DEVELOPMENT AUTHORITY	125 THIRD AVE N	SOUTH SAINT PAUL MN 55075			367285003233	302	\$90.40	\$27,300.80
VG MANAGEMENT LLC	1133 DELAWARE AVE	MENDOTA HEIGHTS MN 55118			367285003240	26	\$90.40	\$2,350.40
VG MANAGEMENT LLC	1133 DELAWARE AVE	MENDOTA HEIGHTS MN 55118			367285003250	25	\$90.40	\$2,260.00
VG MANAGEMENT LLC	PO BOX 513	SOUTH SAINT PAUL MN 55075	103 CONCORD EXCHANGE N	SOUTH ST PAUL MN 55075	367285003290	114	\$90.40	\$10,305.60
CITY OF SOUTH ST PAUL	125 3RD AVE N	SOUTH ST PAUL MN 55075-2093			361522003010	27	\$90.40	\$2,440.80
CITY OF SOUTH ST PAUL	125 3RD AVE N	SOUTH ST PAUL MN 55075-2093			361522003020	24	\$90.40	\$2,169.60
CITY OF SOUTH ST PAUL	125 3RD AVE N	SOUTH ST PAUL MN 55075-2093			361522003030	11	\$90.40	\$994.40
TRALPHAZ LLC	100 CONCORD EXCHANGE S	SOUTH ST PAUL MN 55075	100 CONCORD EXCHANGE S	SOUTH ST PAUL MN 55075	365870001030	73	\$90.40	\$6,599.20
GREGORY R & PATRICIA LARSON	5120 DANENS DR	EDINA MN 55439	112 CONCORD EXCHANGE S	SOUTH ST PAUL MN 55075	363255016301	300	\$90.40	\$27,120.00
DALE TSTE SCHENIAN	PO BOX 26	SOUTH ST PAUL MN 55075	116 CONCORD EXCHANGE S	SOUTH ST PAUL MN 55075	365870001276	300	\$90.40	\$27,120.00
CAP INVESTMENTS LLC	144 CONCORD EXCHANGE S	SOUTH ST PAUL MN 55075			365870001170	50	\$90.40	\$4,520.00
CAP INVESTMENTS LLC	144 CONCORD EXCHANGE S	SOUTH ST PAUL MN 55075			365870001190	50	\$90.40	\$4,520.00
CAP INVESTMENTS LLC	144 CONCORD EXCHANGE S	SOUTH ST PAUL MN 55075	144 CONCORD EXCHANGE S	SOUTH ST PAUL MN 55075	365870001240	124	\$90.40	\$11,209.60
CAP INVESTMENTS LLC	144 CONCORD EXCHANGE S	SOUTH ST PAUL MN 55075			365870001250	25	\$90.40	\$2,260.00
CAP INVESTMENTS LLC	144 CONCORD EXCHANGE S	SOUTH ST PAUL MN 55075			365870001260	47	\$90.40	\$4,248.80
THOMAS TAN NGUYEN	4914 JAMIE ROSE CT	EAGAN MN 55122	200 CONCORD EXCHANGE S	SOUTH ST PAUL MN 55075	361524002022	89	\$90.40	\$8,045.60
DONALD WAYNE MINCKE	221 CONCORD EXCHANGE S	SOUTH ST PAUL MN 55075	218 CONCORD EXCHANGE S	SOUTH ST PAUL MN 55075	361524002051	64	\$90.40	\$5,785.60
HEINCO LLC	9291 RIVERWOOD CIR	NEW LONDON MN 56273	222 CONCORD EXCHANGE S	SOUTH ST PAUL MN 55075	361524002061	90	\$90.40	\$8,136.00
SQUEAKY PROPERTIES LLC	234 CONCORD EXCHANGE S	SOUTH SAINT PAUL MN 55075			361524002070	40.3	\$90.40	\$3,643.12
SQUEAKY PROPERTIES LLC	234 CONCORD EXCHANGE S	SOUTH SAINT PAUL MN 55075			361524002080	40.3	\$90.40	\$3,643.12
SQUEAKY PROPERTIES LLC	234 CONCORD EXCHANGE S	SOUTH SAINT PAUL MN 55075	234 CONCORD EXCHANGE S	SOUTH ST PAUL MN 55075	361524002090	40.3	\$90.40	\$3,643.12
SQUEAKY PROPERTIES LLC	234 CONCORD EXCHANGE S	SOUTH SAINT PAUL MN 55075			361524002100	37.4	\$90.40	\$3,380.96
SQUEAKY PROPERTIES LLC	234 CONCORD EXCHANGE S	SOUTH SAINT PAUL MN 55075			361524002110	40	\$90.40	\$3,616.00
SQUEAKY PROPERTIES LLC	234 CONCORD EXCHANGE S	SOUTH SAINT PAUL MN 55075			361524002120	40	\$90.40	\$3,616.00
SQUEAKY PROPERTIES LLC	234 CONCORD EXCHANGE S	SOUTH SAINT PAUL MN 55075			361524002130	PARCEL NOT BUILDABLE		
SQUEAKY PROPERTIES LLC	234 CONCORD EXCHANGE S	SOUTH SAINT PAUL MN 55075			361524002140	PARCEL NOT BUILDABLE		
SQUEAKY PROPERTIES LLC	234 CONCORD EXCHANGE S	SOUTH SAINT PAUL MN 55075			361524002150	PARCEL NOT BUILDABLE		
STATE OF MN - DOT	395 JOHN IRELAND BLVD	SAINT PAUL MN 55155			366430021010	PARCEL NOT BUILDABLE		
CESAR PAUL SANCHEZ ARTEAGA	7320 130TH ST W	APPLE VALLEY MN 55124			366430021020	48	\$90.40	\$4,339.20
CESAR PAUL SANCHEZ ARTEAGA	7320 130TH ST W	APPLE VALLEY MN 55124			366430021030	44	\$90.40	\$3,977.60
CESAR PAUL SANCHEZ ARTEAGA	7320 130TH ST W	APPLE VALLEY MN 55124			366430021040	44	\$90.40	\$3,977.60
CESAR PAUL SANCHEZ ARTEAGA	7320 130TH ST W	APPLE VALLEY MN 55124			366430021050	43	\$90.40	\$3,887.20
CESAR PAUL SANCHEZ ARTEAGA	7320 130TH ST W	APPLE VALLEY MN 55124			366430021060	41	\$90.40	\$3,706.40
ARM PROPERTIES LIMITED LLC	239 DALE ST W	SOUTH SAINT PAUL MN 55075	324 CONCORD EXCHANGE S	SOUTH ST PAUL MN 55075	366430021070	42	\$90.40	\$3,796.80
ARM PROPERTIES LIMITED LLC	239 DALE ST W	SOUTH SAINT PAUL MN 55075	332 CONCORD EXCHANGE S	SOUTH ST PAUL MN 55075	366430021100	119	\$90.40	\$10,757.60
SOUTH ST PAUL ECONOMIC DEVELOPMENT AUTHORITY	125 THIRD AVE N	SOUTH ST PAUL MN 55075			366430020010	45	\$90.40	\$4,068.00
SOUTH ST PAUL ECONOMIC DEVELOPMENT AUTHORITY	125 THIRD AVE N	SOUTH ST PAUL MN 55075			366430020030	81	\$90.40	\$7,322.40
SOUTH ST PAUL ECONOMIC DEVELOPMENT AUTHORITY	125 THIRD AVE N	SOUTH ST PAUL MN 55075			366430020050	81	\$90.40	\$7,322.40
SOUTH ST PAUL ECONOMIC DEVELOPMENT AUTHORITY	125 THIRD AVE N	SOUTH ST PAUL MN 55075			366430020060	40	\$90.40	\$3,616.00

PROPERTY OWNER	PROPERTY OWNER ADDRESS	City etc	PROPERTY ADDRESS	City etc2	PID NO.	ASSESSABLE FOOTAGE (FT)	ASSESSMENT PER FRONT FOOT	TOTAL ASSESSMENT
SOUTH ST PAUL ECONOMIC DEVELOPMENT AUTHORITY	125 THIRD AVE N	SOUTH ST PAUL MN 55075			366430020071	40	\$90.40	\$3,616.00
SOUTH ST PAUL ECONOMIC DEVELOPMENT AUTHORITY	125 THIRD AVE N	SOUTH ST PAUL MN 55075			366430020091	81	\$90.40	\$7,322.40
SOUTH ST PAUL ECONOMIC DEVELOPMENT AUTHORITY	125 3RD ST N	SOUTH ST PAUL MN 55075			366430020100	40	\$90.40	\$3,616.00
ALAN D FISHER	159 DALE ST W	SOUTH ST PAUL MN 55075	440 CONCORD EXCHANGE S	SOUTH ST PAUL MN 55075	366430020110	40	\$90.40	\$3,616.00
ALAN D FISHER	159 DALE ST W	SOUTH ST PAUL MN 55075			366430020120	40	\$90.40	\$3,616.00
ALAN D FISHER	159 DALE ST W	SOUTH ST PAUL MN 55075			366430020130	42	\$90.40	\$3,796.80
ALAN D FISHER	159 DALE ST W	SOUTH ST PAUL MN 55075			366430020142	20	\$90.40	\$1,808.00
KAPOSIA CLUB LLC	225 BRIDGEPOINT DR	SOUTH SAINT PAUL MN 55075	456 CONCORD EXCHANGE S	SOUTH ST PAUL MN 55075	367286001010	364	\$90.40	\$32,905.60
WATSON TRADING LLC	7152 NEWBURY PL	WOODBURY MN 55125			367510010021	192	\$90.40	\$17,356.80
EMANUEL INVESTMENTS LLC	528 CONCORD EXCHANGE S	SOUTH ST PAUL MN 55075	528 CONCORD EXCHANGE S	SOUTH ST PAUL MN 55075	367510011320	144	\$90.40	\$13,017.60
EMANUEL INVESTMENTS LLC	528 CONCORD EXCHANGE S	SOUTH ST PAUL MN 55075			367510011272	216	\$90.40	\$19,526.40
HRA OF SOUTH ST PAUL	125 3RD AVE N	SOUTH ST PAUL MN 55075-2093			367510000152			PARCEL NOT BUILDABLE
HRA OF SOUTH ST PAUL	125 3RD AVE N	SOUTH ST PAUL MN 55075-2093			367510000070			PARCEL NOT BUILDABLE
HRA OF SOUTH ST PAUL	125 3RD AVE N	SOUTH ST PAUL MN 55075-2093			367510000060			PARCEL NOT BUILDABLE
HRA OF SOUTH ST PAUL	125 3RD AVE N	SOUTH ST PAUL MN 55075-2093			367510000020			PARCEL NOT BUILDABLE
HRA OF SOUTH ST PAUL	125 3RD AVE N	SOUTH ST PAUL MN 55075-2093			367510000010			PARCEL NOT BUILDABLE
HRA OF SOUTH ST PAUL	1253RD AVE N	SOUTH ST PAUL MN 55075			360270001060			PARCEL NOT BUILDABLE
HRA OF SOUTH ST PAUL	125 3RD AVE N	SOUTH ST PAUL MN 55075-2093			360270001050			PARCEL NOT BUILDABLE
HRA OF SOUTH ST PAUL	125 3RD AVE N	SOUTH ST PAUL MN 55075-2093			361526000051			PARCEL NOT BUILDABLE
JJMURPHY LLC	235 CONCORD EXCHANGE S	SOUTH ST PAUL MN 55075	235 CONCORD EXCHANGE S	SOUTH ST PAUL MN 55075	361526000111	188	\$90.40	\$16,995.20
D WAYNE MINCKE	2401 JEWELL LN	SOUTH ST PAUL MN 55075	221 CONCORD EXCHANGE S	SOUTH ST PAUL MN 55075	361526000211	250	\$90.40	\$22,600.00
SOUTH ST PAUL ECONOMIC DEVELOPMENT AUTHORITY	125 3RD AVE N	SOUTH ST PAUL MN 55075			361526000220	25	\$90.40	\$2,260.00
SOUTH ST PAUL ECONOMIC DEVELOPMENT AUTHORITY	125 3RD AVE N	SOUTH ST PAUL MN 55075			361526000230	25	\$90.40	\$2,260.00
SOUTH ST PAUL ECONOMIC DEVELOPMENT AUTHORITY	125 3RD AVE N	SOUTH ST PAUL MN 55075			361526000240	25	\$90.40	\$2,260.00
SOUTH ST PAUL ECONOMIC DEVELOPMENT AUTHORITY	125 3RD AVE N	SOUTH ST PAUL MN 55075			361526000250	25	\$90.40	\$2,260.00
SOUTH ST PAUL ECONOMIC DEVELOPMENT AUTHORITY	125 3RD AVE N	SOUTH ST PAUL MN 55075			361526000260	25	\$90.40	\$2,260.00
SOUTH ST PAUL ECONOMIC DEVELOPMENT AUTHORITY	125 3RD AVE N	SOUTH ST PAUL MN 55075			361526000270	25	\$90.40	\$2,260.00
RJR ENTERPRISES LLC	18901 JORDAN TRL	LAKEVILLE MN 55044	139 CONCORD EXCHANGE S	SOUTH ST PAUL MN 55075	361526000351	200	\$90.40	\$18,080.00
RJR ENTERPRISES LLC	18901 JORDAN TRL	LAKEVILLE MN 55044			361526000360	6	\$90.40	\$542.40
TL INVESTMENTS GROUP LLC	111 CONCORD EXCHANGE S	SOUTH SAINT PAUL MN 55075			361526000433	194	\$90.40	\$17,537.60
TL INVESTMENTS GROUP LLC	111 CONCORD EXCHANGE S	SOUTH SAINT PAUL MN 55075	111 CONCORD EXCHANGE S	SOUTH ST PAUL MN 55075	361526000531	263	\$90.40	\$23,775.20
TL INVESTMENTS GROUP LLC	111 CONCORD EXCHANGE S	SOUTH SAINT PAUL MN 55075			367285002321	170	\$90.40	\$15,368.00
SOUTH ST PAUL ECONOMIC DEVELOPMENT AUTHORITY	125 3RD AVE N	SOUTH ST PAUL MN 55075			367285002285	360	\$90.40	\$32,544.00
SSTP PROPERTIES LLC	5097 WOODLANE ALCOVE	WOODBURY MN 55129	166 CONCORD EXCHANGE N	SOUTH ST PAUL MN 55075	367285002284	170	\$90.40	\$15,368.00
<b>CONCORD EXCHANGE IMPROVEMENT PROJECT PERLIMINARY ASSESSMENT TOTAL</b>						<b>6039.3</b>		<b>\$545,952.72</b>



# CITY COUNCIL AGENDA REPORT

**DATE:** November 4, 2024  
**DEPARTMENT:** Engineering  
**PREPARED BY:** Nick Guilliams  
**AGENDA ITEM NUMBER:** 9.C.

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## **MEETING TYPE**

Regular Meeting

## **AGENDA ITEM**

### **ACTION TO BE CONSIDERED OR DESIRED OUTCOME**

Adopt Resolution 2024-127 RESOLUTION ADOPTING THE ASSESSMENT ROLL FOR 7TH AVENUE SOUTH RECONSTRUCTION AND I-494 WATERMAIN IMPROVEMENTS PROJECT NO. 2023-12.

### **OVERVIEW**

The City will hold a public hearing to review and confirm the proposed assessments for local improvements related to the 7th Avenue South Reconstruction and I-494 Watermain Improvements Project No. 2023-12, in accordance with Minnesota Statutes Chapter 429. The assessment rates have been established based on the City's adopted Assessment Policy. The proposed interest rate is set at 5 percent, to be paid over 10 years, starting in 2025.

All affected property owners were mailed notices prior to the assessment hearing. Additionally, several large-scale items were constructed after the notifications were sent, leading to a revision of the original contract cost from \$3,950,000 to a projected final construction cost of \$3,700,000.

### **SOURCE OF FUNDS**

No fiscal impact at this time.

### **ATTACHMENTS**

1. 2024-127 7th Ave South adopt assmnt roll
2. 2023-12 Final Assessment Roll - 7th Ave S

**RESOLUTION NO. 2024-127**

**RESOLUTION ADOPTING THE ASSESSMENT ROLL  
FOR 7th AVENUE SOUTH RECONSTRUCTION AND I-494 WATERMAIN  
IMPROVEMENTS PROJECT NO. 2023-12**

**WHEREAS**, pursuant to proper notice duly given as required by law, the Council has met and heard and passed upon all objections to the proposed assessments for 7<sup>th</sup> Avenue South and I-494 Watermain Improvements Project No. 2023-12. This project includes the following improvements to 7<sup>th</sup> Avenue South from I-494 to South Street: Street reconstruction including but not limited to; concrete sidewalk and curb removal, grading, gravel base, storm sewer replacement, sanitary sewer improvements, watermain replacement, concrete curb & gutter, concrete sidewalk, street lighting, bituminous surfacing, and restoration and appurtenances.

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of the City of South St. Paul, Minnesota, as follows:

1. Such proposed assessment, a copy of which is attached hereto and made a part hereof, is hereby accepted and shall constitute the special assessment against the lands named therein, and each tract of land therein included is hereby found to be benefited by the proposed improvement in the amount of the assessment levied against it.
2. Such assessment shall be payable in equal installments over a period of ten years, the first installment to be payable on or before the first Monday in January 2025 and shall bear interest at the rate of 5% per annum 30 days from the date of the adoption of this assessment resolution. To the first installment shall be added interest onto the entire assessment from the date of this resolution until December 31, 2025. To each subsequent installment, when due, shall be added interest for one year on all unpaid installments.
3. The owner of any property so assessed may, at any time prior to certification of the assessment to the county auditor, pay the whole, or any part, of the assessment on such property, with interest accrued to the date of payment to the City Clerk except that no interest shall be charged on any portion of the assessment that is paid within 30 days from the adoption of this resolution; and the owner may, at any time thereafter, pay to the County Treasurer the entire amount of the assessment remaining unpaid, with interest accrued to December 31 of the year in which such payment is made. Such payment must be made before December 4, 2024 or interest will be charged through December 31 of the next succeeding year.
4. The City shall forthwith transmit a certified duplicate of the assessment to the county auditor to be extended on the proper tax lists of the county, and such assessment shall be collected and paid over in the same manner as other municipal taxes.

Adopted this 4<sup>th</sup> day of November, 2024

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City Clerk

Parcel ID	Site Address	Owner	Owner Address	City State Zip	Assessable Front Footage	Total Assessed Amount
362910000010	1203 7TH AVE S	ALEJANDRO TAPIA	1203 7TH AVE S	SOUTH ST. PAUL, MN 55075	52	\$4,700.80
362910000020	1207 7TH AVE S	AMY H GALLOWAY	1207 7TH AVE S	SOUTH ST. PAUL, MN 55075	50	\$4,520.00
362910000030	1211 7TH AVE S	KEVIN L AEILTS	1211 7TH AVE S	SOUTH ST. PAUL, MN 55075	49	\$4,429.60
362910000040	1217 7TH AVE S	NEWBLAI HER	1217 7TH AVE S	SOUTH ST. PAUL, MN 55075	50	\$4,520.00
362910000050	1223 7TH AVE S	PAMELA JEAN STEFFEN	1223 7TH AVE S	SOUTH ST. PAUL, MN 55075	50	\$4,520.00
362910000060	1227 7TH AVE S	MITCHELL DORUFF	1227 7TH AVE S	SOUTH ST. PAUL, MN 55075	50	\$4,520.00
362910000070	1231 7TH AVE S	EDWARD J JR WITHUSKI	1231 7TH AVE S	SOUTH ST. PAUL, MN 55075	50	\$4,520.00
362910000080	1239 7TH AVE S	HOME TRS LLC	PO BOX 4090	SCOTTSDALE, AZ 85261	50	\$4,520.00
362910000090	1243 7TH AVE S	DOREEN C NEWSTRAND	1243 7TH AVE S	SOUTH ST. PAUL, MN 55075	50	\$4,520.00
362910000100	1247 7TH AVE S	ELAINE M POLLOCK	1247 7TH AVE S	SOUTH ST. PAUL, MN 55075	49	\$4,429.60
362910000110	1253 7TH AVE S	OSCAR BAZAN SANTIAGO	1253 7TH AVE S	SOUTH ST. PAUL, MN 55075	50	\$4,520.00
362910000120	1259 7TH AVE S	SANDRA K FOLSOM	1259 7TH AVE S	SOUTH ST. PAUL, MN 55075	50	\$4,520.00
362910000130	1258 7TH AVE S	SONJA LATIMER	1258 7TH AVE S	SOUTH ST. PAUL, MN 55075	49	\$4,429.60
362910000140	1252 7TH AVE S	MAISIE V PINA PORTILLO	1252 7TH AVE S	SOUTH ST. PAUL, MN 55075	50	\$4,520.00
362910000150	1246 7TH AVE S	ZACHARY FRITZ	1246 7TH AVE S	SOUTH ST. PAUL, MN 55075	50	\$4,520.00
362910000170	1240 7TH AVE S	ANAKAREN REYES ALCAZAR	1240 7TH AVE S	SOUTH ST. PAUL, MN 55075	74	\$6,689.60
362910000180	1232 7TH AVE S	NATHAN CUSTARD	1232 7TH AVE S	SOUTH ST. PAUL, MN 55075-3301	74	\$6,689.60
362910000190	1226 7TH AVE S	ANDREA R THURY	1226 7TH AVE S	SOUTH ST. PAUL, MN 55075-3301	50	\$4,520.00
362910000200	1220 7TH AVE S	RONALD C BURG & RITA L KRECH	1220 7TH AVE S	SOUTH ST. PAUL, MN 55075-3301	50	\$4,520.00
362910000210	1216 7TH AVE S	SAMANTHA JOE REMMEN & MICHAEL JACOB NEUMANN	1216 7TH AVE S	SOUTH ST. PAUL, MN 55075	49	\$4,429.60
362910000220	1212 7TH AVE S	JUSTIN E COX	1212 7TH AVE S	SOUTH ST. PAUL, MN 55075-3301	50	\$4,520.00
362910000230	1204 7TH AVE S	MICHAEL F GRUBER	1204 7TH AVE S	SOUTH ST. PAUL, MN 55075-3301	50	\$4,520.00
362910000240	1200 7TH AVE S	GALE J HALVORSON	1200 7TH AVE S	SOUTH ST. PAUL, MN 55075	52	\$4,700.80
363210002160	618 DALE ST W	JULIE C MORGAN	618 DALE ST W	SOUTH ST. PAUL, MN 55075-3241	38	\$3,435.20
363210002170	1155 7TH AVE S	CATHRINE L MATE	1155 7TH AVE S	SOUTH ST. PAUL, MN 55075-3104	42	\$3,796.80
363210002180	1149 7TH AVE S	KEITH D SCHIPP	1149 7TH AVE S	SOUTH ST. PAUL, MN 55075	40	\$3,616.00
363210002200	1145 7TH AVE S	KAMP PAUL A & LISA L TSTE	1059 WESTERN AVE	SAINT PAUL, MN 55117	42	\$3,796.80
363210002210	1141 7TH AVE S	SANDRA J MUHLHAUSEN	1141 7TH AVE S	SOUTH ST. PAUL, MN 55075-3104	50	\$4,520.00
363210002220	1137 7TH AVE S	RICHARD J & THERESA RANALLS	1137 7TH AVE S	SOUTH ST. PAUL, MN 55075	42	\$3,796.80
363210002230	1131 7TH AVE S	DENNIS W & NANCY L SAGER	1131 7TH AVE S	SOUTH ST. PAUL, MN 55075-3104	50	\$4,520.00
363210002240	1127 7TH AVE S	KEITH A & KIMBERLY G BAKER	1127 7TH AVE S	SOUTH ST. PAUL, MN 55075-3104	42	\$3,796.80
363210002250	1123 7TH AVE S	MICHAEL W HAMMARSTEN	1123 7TH AVE S	SOUTH ST. PAUL, MN 55075-3104	50	\$4,520.00
363210002260	1119 7TH AVE S	VERNON M HAMBERG	1119 7TH AVE S	SOUTH ST. PAUL, MN 55075-3104	42	\$3,796.80
363210002280	1113 7TH AVE S	BARBARA ROTH & JACK II ROTH	1113 7TH AVE S	SOUTH ST. PAUL, MN 55075	60	\$5,424.00
363210002290	1107 7TH AVE S	GREGORY GEIS	1107 7TH AVE S	SOUTH ST. PAUL, MN 55075	60	\$5,424.00
363210002300	1101 7TH AVE S	KARA J BECKMAN & MARIO A FUENTES ROQUE	1101 7TH AVE S	SOUTH ST. PAUL, MN 55075-3104	40	\$3,616.00
363210003030	1106 7TH AVE S	FREDRICK W FUHRMANN	7065 SHERWOOD CT	WOODBURY, MN 55125	75	\$6,780.00
363210003050	1114 7TH AVE S	MICHELLE LORI CHELL	1114 7TH AVE S	SOUTH ST. PAUL, MN 55075	60	\$5,424.00
363210003060	1120 7TH AVE S	JUANITA & LYDIA ADAMEZ	1120 7TH AVE S	SOUTH ST. PAUL, MN 55075-3103	60	\$5,424.00
363210003080	1126 7TH AVE S	LORRAINE A TABOR	1126 7TH AVE S	SOUTH ST. PAUL, MN 55075	60	\$5,424.00
363210003090	1132 7TH AVE S	CHRISTOPHER RUPP	1132 7TH AVE S	SOUTH ST. PAUL, MN 55075	60	\$5,424.00
363210003110	1144 7TH AVE S	JANINE STAMMLER	1144 7TH AVE S	SOUTH ST. PAUL, MN 55075	60	\$5,424.00
363210003120	1146 7TH AVE S	IH2 PROPERTY ILLINOIS LP	1717 MAIN ST STE 2000	DALLAS, TX 75201	60	\$5,424.00
363210003140	1150 7TH AVE S	DEBRA MIRANDA	1150 7TH AVE S	SOUTH ST. PAUL, MN 55075	60	\$5,424.00
363210003150	1156 7TH AVE S	CRISTINE EDGELL	1156 7TH AVE S	SOUTH ST. PAUL, MN 55075	60	\$5,424.00
363210010170	1357 7TH AVE S	DANIEL P & HOPE A TUCCITTO	1357 7TH AVE S	SOUTH ST. PAUL, MN 55075	60	\$5,424.00
363210010180	1351 7TH AVE S	CASSANDRA GRACE SCALZE	1351 7TH AVE S	SOUTH ST. PAUL, MN 55075	60	\$5,424.00
363210010200	1345 7TH AVE S	ARLENE V MOEHRLE	1345 7TH AVE S	SOUTH ST. PAUL, MN 55075	49	\$4,429.60
363210010210	1339 7TH AVE S	ANGELA N SELESKI	1339 7TH AVE S	SOUTH ST. PAUL, MN 55075	55	\$4,972.00

363210010220	1333 7TH AVE S	AMANDA S BURGESS	1333 7TH AVE S	SOUTH ST. PAUL, MN 55075	55	\$4,972.00
363210011020	1300 7TH AVE S	ELLEN PATRICIA MCNAIR	1300 7TH AVE S	SOUTH ST. PAUL, MN 55075	60	\$5,424.00
363210011040	1306 7TH AVE S	ANITA K CLAUSEN	1306 7TH AVE S	SOUTH ST. PAUL, MN 55075	75	\$6,780.00
363210011060	1316 7TH AVE S	ANTHONY CUBUS	1316 7TH AVE S	SOUTH ST. PAUL, MN 55075	60	\$5,424.00
363210011070	1322 7TH AVE S	MICHA MURPHY	1322 7TH AVE S	SOUTH ST. PAUL, MN 55075	40	\$3,616.00
363210011080	1328 7TH AVE S	KENDRA TUVE	1328 7TH AVE S	SOUTH ST. PAUL, MN 55075	40	\$3,616.00
363210011092	1332 7TH AVE S	PATRICK L GRAFSKY	1332 7TH AVE S	SOUTH ST. PAUL, MN 55075-3303	40	\$3,616.00
363210011101	1336 7TH AVE S	LINDA L PREKKER	1336 7TH AVE S	SOUTH ST. PAUL, MN 55075-3303	50	\$4,520.00
363210011110	1340 7TH AVE S	IRMA ALVARADO	1340 7TH AVE S	SOUTH ST. PAUL, MN 55075	50	\$4,520.00
363210011131	1344 7TH AVE S/ 1346 7TH AVE S	NANKUMAR RAGJIERAM & SANITA MANYRAM	19142 ISMAY PATH	LAKEVILLE, MN 55044	60	\$5,424.00
363210011140	1354 7TH AVE S	TERRANCE J PALMEN	1354 7TH AVE S	SOUTH ST. PAUL, MN 55075-3303	60	\$5,424.00
363210011150	1358 7TH AVE S	AUSTIN LUHRS	1358 7TH AVE S	SOUTH ST. PAUL, MN 55075	40	\$3,616.00
363210014020	1400 7TH AVE S	BRADYN & ELIZABETH ANN HAWKINS	1400 7TH AVE S	SOUTH ST. PAUL, MN 55075	59	\$5,333.60
363210014030	1406 7TH AVE S	YEE WONG CHIU & LAI NGA HO	1406 7TH AVE S	SOUTH ST. PAUL, MN 55075	60	\$5,424.00
363210014050	1412 7TH AVE S	DANIEL TONDRA	1412 7TH AVE S	SOUTH ST. PAUL, MN 55075	60	\$5,424.00
363210014060	1418 7TH AVE S	FRANCES COLON	1418 7TH AVE S	SOUTH ST. PAUL, MN 55075-3305	59	\$5,333.60
363210014080	1424 7TH AVE S	TIMOTHY KELLY	1424 7TH AVE S	SOUTH ST. PAUL, MN 55075	59	\$5,333.60
363210014090	1430 7TH AVE S	MICHAEL G SABANJO & SUSAN M SABANJO	1430 7TH AVE S	SOUTH ST. PAUL, MN 55075-3305	60	\$5,424.00
363210014110	1436 7TH AVE S	MICHAEL T & KATHLEEN SIMONDS	1436 7TH AVE S	SOUTH ST. PAUL, MN 55075-3305	60	\$5,424.00
363210014120	1442 7TH AVE S	1442 HOLDINGS LLC	1442 7TH AVE S	SOUTH ST. PAUL, MN 55075	59	\$5,333.60
363210014140	1448 7TH AVE S	RYAN T SCHMIDT	1448 7TH AVE S	SOUTH ST. PAUL, MN 55075	59	\$5,333.60
363210014150	1454 7TH AVE S	NORMA PATRICIA CORRAL-JIMENEZ	1454 7TH AVE S	SOUTH ST. PAUL, MN 55075	50	\$4,520.00
363210015170	1457 7TH AVE S	FRAZIER RECOVERY HOME LLC	PO BOX 142	COTTAGE GROVE, MN 55016	49	\$4,429.60
363210015180	1451 7TH AVE S	KATHERINE KELLEY	1451 7TH AVE S	SOUTH ST. PAUL, MN 55075	50	\$4,520.00
363210015190	1447 7TH AVE S	LACEY BARNES & JULIA BARNES	1447 7TH AVE S	SOUTH ST. PAUL, MN 55075	50	\$4,520.00
363210015200	1443 7TH AVE S	PAMELA SCHWANTES	1443 7TH AVE S	SOUTH ST. PAUL, MN 55075-3306	50	\$4,520.00
363210015220	1435 7TH AVE S	JANINE J MCMORROW & STEVEN T MCMORROW	1435 7TH AVE S	SOUTH ST. PAUL, MN 55075	75	\$6,780.00
363210015240	1431 7TH AVE S	ROBERT ERIC KUEHN	1431 7TH AVE S	SOUTH ST. PAUL, MN 55075	60	\$5,424.00
363210015250	1421 7TH AVE S	JAY W & CONNIE E EMERSON	1421 7TH AVE S	SOUTH ST. PAUL, MN 55075-3306	60	\$5,424.00
363210015270	1417 7TH AVE S	CRAIG A & CAROL M JERDE	1417 7TH AVE S	SOUTH ST. PAUL, MN 55075-3306	50	\$4,520.00
363210015280	1413 7TH AVE S	MARY A ROSS	1413 7TH AVE S	SOUTH ST. PAUL, MN 55075-3306	48	\$4,339.20
363210015290	1407 7TH AVE S	DAVID JEROME KAISER	1407 7TH AVE S	SOUTH ST. PAUL, MN 55075	61	\$5,514.40
363210015300	1401 7TH AVE S	JEAN F TSTE MCDONALD	1401 7TH AVE S	SOUTH ST. PAUL, MN 55075	40	\$3,616.00
364875006070	1025 7TH AVE S	SOFIYA KEBETO	1025 7TH AVE S	SOUTH ST. PAUL, MN 55075	49	\$4,429.60
364875006090	1033 7TH AVE S/ 1035 7TH AVE S	MARGARET R BORDANEA	1033 7TH AVE S	SOUTH ST. PAUL, MN 55075	75	\$6,780.00
364875006100	1037 7TH AVE S/ 1039 7TH AVE S	LJT HOLDINGS LLC	8052 ENCLAVE CIR	WOODBURY, MN 55125	50	\$4,520.00
364875006110	1041 7TH AVE S	ASHLEY STARK & SEAN STARK	1041 7TH AVE S	SOUTH ST. PAUL, MN 55075	40	\$3,616.00
364875006120	1047 7TH AVE S	TAYLOR ARIELLE JONES	9019 COFFMAN CIR	INVER GROVE HEIGHTS, MN 55076	40	\$3,616.00
364875006130	1051 7TH AVE S	JON M & SHARYN K BENNETT	1051 7TH AVE S	SOUTH ST. PAUL, MN 55075-3102	40	\$3,616.00
364875006150	1055 7TH AVE S	JOSHUA I & JENNY L KOCH	1055 7TH AVE S	SOUTH ST. PAUL, MN 55075-3102	75	\$6,780.00
364875007170	1056 7TH AVE S	JEFFREY A COLE & JEANNIE N LANGE	1056 7TH AVE S	SOUTH ST. PAUL, MN 55075-3101	60	\$5,424.00
364875007180	1050 7TH AVE S	DEBORAH NOVATNEY	1050 7TH AVE S	SOUTH ST. PAUL, MN 55075	60	\$5,424.00
364875007200	1044 7TH AVE S	JAMES A FORD	1044 7TH AVE S	SOUTH ST. PAUL, MN 55075-3101	60	\$5,424.00
364875007210	1038 7TH AVE S	ELOY ARREOLA & MISAEL ARREOLA PALACIOS	1038 7TH AVE S	SOUTH ST. PAUL, MN 55075	60	\$5,424.00
364875007230	1032 7TH AVE S	BRADLEY & HOLLY BRANVILLE	1032 7TH AVE S	SOUTH ST. PAUL, MN 55075	60	\$5,424.00
364875007240	1026 7TH AVE S	KELVIN RODELL BILBRO & DIVINE BILBRO	1026 7TH AVE S	SOUTH ST. PAUL, MN 55075	60	\$5,424.00
					<b>TOTAL:</b>	<b>\$462,124.80</b>



# CITY COUNCIL AGENDA REPORT

**DATE:** November 4, 2024  
**DEPARTMENT:** Economic Development  
**PREPARED BY:** Ryan Garcia  
**AGENDA ITEM NUMBER:** 10.A.

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## MEETING TYPE

Regular Meeting

## AGENDA ITEM

### **ACTION TO BE CONSIDERED OR DESIRED OUTCOME**

Motion to approve a Preliminary Development Agreement with Zas LLC for the proposed Hardman Triangle mixed-use development project, thereby authorizing the President and Executive Director of the EDA to execute of the Preliminary Development Agreement, subject to minor revisions meeting the City Attorney's approval.

### **OVERVIEW**

Staff has engaged Zavi Development and TE Miller Development (<https://www.temiller.com/>) to contemplate a dramatic redevelopment of an approximately 5.6-acre site at the northeast corner of Grand Avenue East and Concord Street North. Zavi's proposed concept seeks to transform the site, which is currently vacant but was previously developed with industrial uses including the Dakota County Technical College's meatcutting school, 20/20 Brand Solutions, yard space for Twin City Pallet Co., and more historically several ag-industrial buildings of the former Swift & Co. packinghouse campus. Zavi's vision aligns closely to the mixed-use, walkable, livable vision for this area as identified in numerous City plans over the past 25 years: they propose adding an independent restaurant, "destination retail" (currently vetting an indoor pickleball center), and nearly 200 units of market-rate housing at the site in a two-phase development program. Given the conditions of the site, including challenging geotechnical and environmental conditions, for the project to be economically viable we anticipate the necessity of utilizing a creative funding approach involving Tax Increment Financing and the leveraging of state and regional grant programs.

Zas, LLC (the unique corporate entity created by Zavi to develop and own this project) and EDA Staff have negotiated a preliminary development agreement that will frame our public-private partnership through its early stages. This agreement would be an important first step in our collaboration by defining each party's roles and expectations as we work towards a definitive development plan and ultimately the formal, legally binding agreements needed to deliver that development.

### **SOURCE OF FUNDS**

In 2024, the EDA approved Resolution 2024 - 1, 2024 - 02, 2024 - 03, and 2024 - 04 committing EDA Fund 20284 to the implementation of the City's Economic Development Strategy. This special purpose fund has sufficient cash reserves to support any costs, such as consultant services

to study the viability of the proposed redevelopment, that may be incurred by the EDA at this stage. Certain costs, including site master planning and geotechnical analysis, are reimbursable through a previously approved LCDA Pre-Development grant from the Metropolitan Council. The Preliminary Development Agreement also requires an option payment by the developer to the EDA of \$15,000 upon execution of the agreement, with additional payments of \$5,000 each due on a quarterly basis for three quarters thereafter, which payments may be applied to the EDA's costs in in connection with the project. Should development proceed with Zavi/TE Miller, a comprehensive development agreement, including any amounts, terms and conditions related to public financial assistance for the development, will be prepared and presented for public approval in accordance with statutory and policy guidance at a future meeting.

**ATTACHMENTS**

- 1. Preliminary Development Agreement (ZAS - Hardman Triangle)

**THE SOUTH ST. PAUL ECONOMIC DEVELOPMENT AUTHORITY,  
THE CITY OF SOUTH ST. PAUL  
AND  
ZAS LLC**

**PRELIMINARY DEVELOPMENT AGREEMENT**

THIS PRELIMINARY DEVELOPMENT AGREEMENT (this “Agreement”), dated the \_\_\_\_\_ day of October, 2024, by and between the City of South St. Paul, \_\_\_\_\_ (the “City”), the South St. Paul Economic Development Authority, a public body corporate and politic under the laws of the State of Minnesota (the “EDA”) and ZAS LLC, a South Dakota limited liability company (the “Developer”);

**WITNESSETH:**

WHEREAS, the EDA owns and desires to promote the development of certain property known as 125, 135, and 139 Grand Avenue East, South St. Paul, Dakota, County, Minnesota, as further described and depicted on Exhibit A attached hereto and incorporated by reference herein (the “Property”); and

WHEREAS, the EDA has determined that it is in the best interests of the EDA that the Developer be designated as the sole developer of the Property during the term of this Agreement; and

WHEREAS, the EDA intends that the site design for the Property be generally consistent with the 2040 Comprehensive Plan, the 2020 Hardman Triangle Redevelopment Plan, and the Concord Gateway Mixed-Use Zoning District and include the following uses on the Property:

1. An approximately 4-story, market-rate residential apartment building with an estimated 145 residential units and not fewer than 140 garage parking stalls and adequate surface parking to, when combined with the garage parking stalls, meets a ratio of one stall per bedroom (the “Market-Rate Building”);
2. A 1- to 2- story, “destination retail” building to include experience-based commercial and/or retail uses, including a 1-story, full-service restaurant located near the northeast corner of Grand Avenue and Concord Street North (the “Commercial Building”);
3. An approximately 5-story, potentially independent senior-focused or workforce-focused apartment building with an estimated 40 to 110 residential units and adequate parking to meet a ratio of one stall per bedroom (the “Senior/Workforce Building”); and
4. A shared surface parking facility with an estimated 75 surface parking spaces serving the improvements described above (the “Parking”); and

WHEREAS, the Developer desires to acquire and develop all or a portion of the Property for purposes of constructing thereon the aforementioned mixed-use development (collectively the “Development”); and

WHEREAS, the EDA and Developer are interested in further planning and negotiation for the Developer's proposal for the Development; and

WHEREAS, Developer has indicated to the EDA that it will seek financial assistance from the City and/or the EDA to make the Development feasible; and

WHEREAS, the City or the EDA will need to determine if various studies, as may be determined to be reasonably necessary, should be conducted, including without limitation an environmental impact or related study, an infrastructure feasibility study, an economic impact study, and any other required analysis of the Development (the "Studies") and will need to determine that the proposed Development of the Property will have a positive impact on the City; and

WHEREAS, the City and the EDA will discuss with the Developer available financial assistance, grants, gifts or loans for the Development; and

WHEREAS, various land use, zoning, and subdivision issues and actions related to the Development and the Property are required to be approved by the City in order to facilitate the Development by the Developer; and

WHEREAS, the City and EDA agree to cooperate with the Developer to review and process various land use, zoning, and subdivision issues and actions related to the Development and the Property in order to facilitate the Development by the Developer; and

WHEREAS, the City, the EDA and the Developer are willing to undertake the Development if (i) a satisfactory agreement can be reached regarding EDA's commitment for public costs necessary for the Development; (ii) satisfactory mortgage and equity financing, or adequate equity resources for the Development can be secured by Developer; (iii) the parties reach a satisfactory resolution of zoning, land use, public infrastructure and site design issues; and (iv) the feasibility and soundness of the Development and other necessary preconditions have been determined to the satisfaction of the parties.

NOW, THEREFORE, in consideration of the foregoing and of the mutual covenants and obligations set forth herein, the parties agree as follows:

1. Future Negotiations.

The parties agree to continue negotiations in an attempt to formulate a definitive plan for review and approval of all land use, zoning and subdivision approvals and any necessary development agreements or contracts based on the following:

(a) Developer's current proposal for the Development, which shows the scope of the proposed Development in its latest form as of the date of this Agreement, together with such changes or modifications to the proposal as agreed to by the Developer, the City and the EDA;

(b) Financial projections for the Development and related financial analysis of necessary public assistance;

- (c) Other terms and conditions of this Agreement.

2. Statement of Intent.

Although not conclusive or binding on either party beyond the designation of Developer as the sole developer of the Property as set forth herein, it is the intention of the parties that this Agreement: (a) documents the present understanding and commitments of the parties; (b) will provide the EDA and City with the necessary information to determine the amount of available financial assistance for the Development, following receipt of pertinent financial projections related to the Development and subsequent, independent review by the City's financial consultants; (c) will lead to negotiation and execution of a mutually satisfactory development agreements or contracts prior to the termination date of this Agreement; and (d) will lead to an appropriate land use, zoning, and subdivision application or applications. The development agreements or contracts (together with any other agreements entered into between the parties hereto contemporaneously therewith) when executed and any land use, zoning, and subdivision approvals, will supersede all obligations of the parties hereunder.

3. Term; Duties.

- (a) During the term of this Agreement, EDA and City agree to:

- (i) Proceed to seek all necessary information with regard to the anticipated public costs, if any, associated with the Development.

- (ii) Provide to the Developer copies of all due diligence items in EDA's and City's possession, including without limitation: title, survey, environmental (Environmental Phase I & Phase II reports), soils, and market studies.

- (iii) Use good faith efforts to negotiate and enter into one or more development agreements with the Developer for the phased development of the Market Rate Building, the Commercial Building, the Senior/Workforce Building, and the Parking (and, if applicable, any future phases of Development).

- (b) During the term of this Agreement, Developer agrees to:

- (i) Develop and submit its detailed proposal, including the plans and specifications, for the Development.

- (ii) Conduct additional due diligence review of the Property. It is mutually understood and agreed that the EDA has completed, without Developer's assistance or financial contribution, Geotechnical Assessments and Phase I and Phase II environmental site assessments prior to execution of this Agreement, which assessments have been and / or will be provided to Developer.

- (iii) Use good faith efforts to obtain approval by the EDA and the City (including its Engineer, Planning and Inspection Department, and any other necessary governing authority) for approval of the site plan, exterior elevations and finishes, and such other zoning approvals as may be required.

(iv) Use good faith efforts to obtain any other necessary governmental approval from any governing authority.

(v) Use good faith effort to obtain financing on terms acceptable to Developer, in its sole discretion, which may include, but are not limited to public financial assistance (such as pay-as-you-go tax increment financing (“TIF”) in a mutually agreeable amount), grants from other governmental entities (as applicable), private loans and equity investment for the Development.

(vi) Use good faith efforts to negotiate and enter into one or more development agreements with the EDA for the phased development of the Market Rate Building, the Commercial Building, the Senior/Workforce Building, and the Parking (and, if applicable, any future phases of Development).

4. Financial Assistance; TIF.

(a) EDA understands that the Developer is seeking financial assistance from the City and/or the EDA. During the term of this Agreement, Developer shall:

(i) Submit to EDA a design proposal to be reviewed by EDA showing the location, size, and nature of the proposed Development, including layouts, renderings, elevations, and other graphic or written explanations of the Development. The design proposal shall be accompanied by a proposed schedule for the starting and completion of the Development.

(ii) Submit an overall cost estimate for the design and construction of the Market-Rate Building, Parking, Commercial Building, and if applicable, a separate overall cost estimate for any subsequent phases.

(iii) Submit an anticipated time schedule for each planned phase of the Development.

(iv) Undertake and obtain such other preliminary economic feasibility studies, income and expense projections, and such other economic information as Developer may desire to further confirm the economic feasibility and soundness of the Development.

(v) Submit to EDA the Developer’s financing plan showing that the proposed initial phase of the Development is financially feasible, and if applicable, a separate financial plan for any subsequent phases.

(vi) Furnish information in its possession or provide additional information as reasonably requested by the City or EDA to assist the City and EDA’s determination of the appropriate amount of financial assistance needed for the Development, including good faith cooperation with the City or EDA’s financial consultants and legal counsel.

(b) Developer understands that the TIF sought for the proposed Development must comply with state statute and the EDA's TIF policy. The EDA agrees in any development agreement or contract entered into as contemplated herein that the EDA will review and consider such financing as allowed by law, but no provision shall be construed as an affirmative approval of such financing until such time that a separate TIF agreement is entered into by both parties.

5. Feasibility.

It is expressly understood that execution and implementation of any development agreement or contract (together with any other agreements entered into between the parties hereto contemporaneously therewith) and any land use, zoning and subdivision approvals shall be subject to:

(a) A determination by the City and the EDA in their sole discretion that the undertakings are feasible based on (i) satisfaction of City Code requirements; (ii) the purposes and objectives of any development plan created or proposed for the Development; (iii) the Studies, if any; and (iv) the best interests of the City and the EDA.

(b) A determination by Developer in its sole discretion that the Development is feasible and in the best interests of Developer.

6. Costs; Exclusive Option and Administrative.

Developer shall be solely responsible for all costs incurred by Developer. Within five business days of full execution of this Agreement, the Developer agrees to submit a non-refundable option payment to the EDA in the amount of \$15,000, with additional payments of \$5,000 each due to the EDA on or before each the following subsequent dates: January 1, 2025, April 1, 2025, and July 1, 2025, as long as this Agreement has not been terminated or replaced with a formal development agreement for the Development prior to any such date. For the purposes of this Agreement, the term "Administrative Costs" means out of pocket costs incurred by the EDA or the City, together with consultants (including engineering, surveys, legal, financial advisor, acquisition specialist, relocation consultant, environmental analysis, environmental advisor, planning advisor, etc.), all attributable to or incurred in connection with the review of the development agreement, Development or other related contracts or agreements (together with any other agreements entered into between the parties hereto contemporaneously therewith), the negotiation and preparation of the definitive development agreement or agreements, and other documents and agreements in connection with the Development. Any application or escrow fees generally collected by the City for planning applications such as the Developer may file in relation to the Development will be collected separately pursuant to the City's applicable ordinances.

7. Effective Date; Expiration.

This Agreement is effective from the date hereof through May 31, 2025. After such date, neither party shall have any obligation hereunder except as expressly set forth to the contrary herein.

8. Termination.

This Agreement may be terminated upon fourteen (14) days written notice by EDA to Developer, or Developer to EDA, if:

(a) An essential precondition to the execution of a contract cannot be met; or

(b) If, in the respective sole discretion of the City, EDA or Developer, an impasse has been reached in the negotiation or implementation of any material term or condition of this Agreement, and the parties have been unable to resolve such impasse through good-faith negotiations within 30 days after the party determining the impasse has notified the other party in writing of such determination.

9. Sole Developer.

Developer is hereby designated by the City and the EDA as the sole developer of the Property during the term of this Agreement and the City and the EDA agree to negotiate solely with Developer with respect to the acquisition or development of the Property. The City and EDA agree not to market the Property or to make, accept, negotiate, or otherwise pursue any other offers for sale, purchase or development of the Property until this Agreement expires or is terminated pursuant to Section 7 or Section 8 herein.

10. Right of Entry.

In connection with this Agreement, EDA hereby grants to the Developer, its agents, employees, officers, and contractors (the "Authorized Parties") a right of entry on the Property for the purpose of performing all due diligence work and inspections deemed necessary by the Developer to fulfill its obligations under this Agreement (the "Permitted Activities"). Developer is responsible for any and all costs related to the Permitted Activities conducted on the Property. Developer agrees to indemnify, save harmless, and defend the Authority and its officers and employees, from and against any and all claims, actions, damages, liability and expense in connection with personal injury and/or damage to the Property arising from or out of any occurrence in, upon or at the Property to the extent caused by the act or omission of the Authorized Parties in conducting the Permitted Activities on the Property, except (a) to the extent caused by the negligence, gross negligence, willful misrepresentation or any willful or wanton misconduct by the City or the EDA, or their officers, employees, agents or contractors; and (b) to the extent caused by a "Pre-Existing Condition" as defined in this paragraph 10. "Pre-Existing Condition" shall mean any geologic or soil condition, any defect in the condition of improvements located on the Property, or any condition caused by the existence of hazardous substances or materials in, on, or under Property, including without limitation hazardous substances released or discharged into the drainage systems, soils, groundwater, waters or atmosphere, which condition existed as of the date of this Agreement and became known or was otherwise disclosed or discovered by reason of the Authorized Parties' entry onto the Property.

11. Severability.

If any portion of this Agreement is held invalid by a court of competent jurisdiction, such decision shall not affect the validity of any remaining portion of the Agreement.

12. Breach; Waiver.

In the event any covenant contained in this Agreement should be breached by one party and subsequently waived by another party, such waiver shall be limited to the particular breach so waived and shall not be deemed to waive any other concurrent, previous or subsequent breach.

13. Notice.

Notice or demand or other communication between or among the parties shall be sufficiently given if sent by mail, postage prepaid, return receipt requested, by nationally recognized overnight courier or delivered personally:

- (a) As to EDA/City: South St. Paul Economic Development Authority  
125 3rd Avenue N  
South St. Paul, MN 55075  
Attn: Executive Director
- (b) As to Developer: ZAS LLC  
5605 Tracy Avenue  
Edina, MN 55436  
Attn: Alex Gese

14. Assignment.

Developer may assign its rights and obligations under this Agreement to an affiliate or subsidiary of Developer, or to any entity under common control with Developer, without the prior consent of the City or EDA.

15. Counterparts.

This Agreement may be executed simultaneously in any number of counterparts (and counterparts may be exchanged by electronic transmission (including by email)), all of which shall constitute one and the same instrument.

16. Governing Law.

This Agreement shall be governed by and construed in accordance with the laws of the state of Minnesota. Any disputes, controversies, or claims arising out of this Agreement shall be heard in the state or federal courts of Minnesota, and all parties to this Agreement waive any objection to the jurisdiction of these courts, whether based on convenience or otherwise.

17. Incorporation.

The Recitals set forth in the preamble to this Agreement and the Exhibits attached to this Agreement are incorporated into this Agreement as if fully set forth herein.

[REMAINDER OF PAGE INTENTIONALLY LEFT BLANK]

DRAFT

IN WITNESS WHEREOF, each of the parties hereto have caused this Agreement to be duly executed in its name and behalf as of the day and year first above written.

DEVELOPER:

ZAS LLC.  
a South Dakota limited liability company

By: \_\_\_\_\_  
Name: \_\_\_\_\_  
Its: \_\_\_\_\_

DRAFT

CITY:

THE CITY OF SOUTH ST. PAUL

*[Insert City signature block here]*

DRAFT

EDA:

ECONOMIC DEVELOPMENT AUTHORITY OF  
THE CITY OF SOUTH ST. PAUL

By: \_\_\_\_\_  
President James P. Francis

By: \_\_\_\_\_  
Executive Director Ryan Garcia

**EXHIBIT A**

**PARCEL ID NUMBERS AND DEPICTION OF PROPERTY**

36-03800-00-062

36-03800-00-061

36-03800-00-073

36-03800-00-072

*(Full Legal Description of Development Property to be prepared prior to Development Agreement)*



**EXHIBIT B**

**DRAFT DEVELOPMENT PROPOSAL (PRELIMINARY DRAFT -  
SUBJECT TO UPDATE AND REVISION)**



**Development Summary**

- 1 **4-Story Housing A**  
Market Rate | 136,000  
Garage Parking | 46
- 2 **5-Story Housing B**  
Market Rate | 90,000  
Garage Parking | 18  
Surface Parking | 30
- 3 **Destination Retail**  
22,600 GSF  
Surface Parking | 60
- 4 **Restaurant**  
4,000 GSF | 3,000 DF  
Surface Parking | 60
- 5 **Park Building**  
10,000 GSF  
Parking | in parking deck
- 6 **Parking Deck**  
100,000 GSF  
3100 Parking Spaces
- 7 **Retail**  
32,000 GSF  
Parking | in parking deck
- 8 **Retail**  
27,000 GSF  
Parking | in parking deck
- 9 **4-Story Housing C**  
Independent Serial  
Garage Parking | 40  
Surface Parking | 40
- 10 **4-Story Housing D**  
Affordable | 140,000  
Garage Parking | 45  
Surface Parking | 65

Hardman Triangle Redevelopment Masterplan | 11.16.2023

South Saint Paul, MN | Project #223148A

Opti

## Development Summary

- 1** **4-Story Housing A**  
Market Rate | 154,135 FSF | 148 Units  
Garage Parking | 45,530 SF | 141 Stalls  
Surface Parking | 37 Stalls (Shared)
- 2** **4-Story Housing B**  
Market Rate | 111,210 FSF | 116 Units  
Garage Parking | 30,145 SF | 97 Stalls  
Surface Parking | 33 Stalls (Shared)
- 3** **Gas Station & Retail**  
42,890 GSF  
Surface Parking | 48 Stalls (33 Shared)
- 4** **Restaurant**  
6,500 GSF | 3,000 SF Dining Room  
Surface Parking | 65 Stalls (37 Shared)



1 Schematic Masterplan  
SCALE: 1"=80'



2 Parking Plan  
SCALE: 1"=160'